



FINAL PUD PLAN SET
PUD-000368-2018
SCOOTERS RESTAURANT
 12610 ROCKLAND ROAD
 LAKE BLUFF, IL 60044



PROJECT DIRECTORY

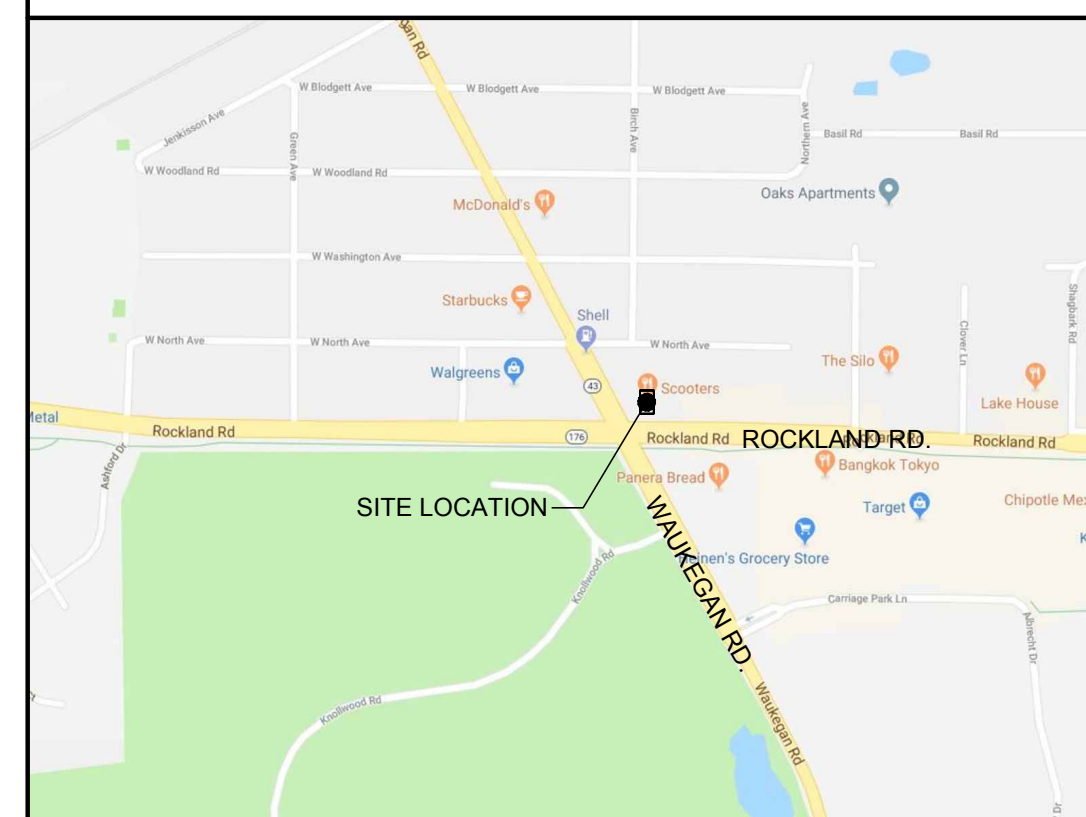
OWNER
 GLOGOVSKY REAL ESTATE LLC.
 ATTN: JEFF GLOGOVSKY
 28787 N. WAUKEGAN ROAD
 LAKE BLUFF, IL 60044
 847.295.3257

MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEER
 W-T GROUP, LLC
 MECHANICAL & ELECTRICAL DIVISION
 2675 PRATUM AVENUE
 HOFFMAN ESTATES, IL 60192
 224.293.6333

ARCHITECT
 W-T GROUP, LLC
 DESIGN & PROGRAM MANAGEMENT DIVISION
 ATTN: CHRISTIAN KALISCHEFSKI
 2675 PRATUM AVENUE
 HOFFMAN ESTATES, IL 60192
 224.293.6960

STRUCTURAL ENGINEER
 W-T GROUP, LLC
 STRUCTURAL ENGINEERING DIVISION
 2675 PRATUM AVENUE
 HOFFMAN ESTATES, IL 60192
 224.293.6333

LOCATION MAP



GENERAL BUILDING INFORMATION

LAKE COUNTY, IL 2018 ADOPTED CODES

2012 INTERNATIONAL BUILDING CODE
 2012 INTERNATIONAL FIRE CODE
 2012 INTERNATIONAL MECHANICAL CODE
 2011 NATIONAL ELECTRICAL CODE
 CURRENT ILLINOIS STATE PLUMBING CODE
 CURRENT ILLINOIS ACCESSIBILITY CODE
 2015 INTERNATIONAL ENERGY CONSERVATION CODE

CURRENT 2018 ZONING ORDINANCE

BUILDING DATA

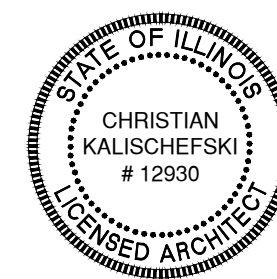
ZONING CLASSIFICATION: GC: UNINCORPORATED GENERAL COMMERCIAL ASSEMBLY GROUP A-2
 OCCUPANCY: VB
 CONSTRUCTION TYPE: VB
 NUMBER OF STORIES: 1
 BUILDING AREA: 1,780 SQ.FT.

THE INFORMATION CONTAINED ON THIS SHEET IS INTENDED AS A GENERAL OVERVIEW OF THE PROJECT. A FULL DETAILED CODE REVIEW FOR THIS PROJECT CAN BE FOUND ON SHEET G002.

STATEMENT OF COMPLIANCE

I, CHRISTIAN KALISCHEFSKI, A.I.A., DULY LICENSED IN THE STATE OF ILLINOIS BY THE DEPARTMENT OF PROFESSIONAL REGULATION, DO HEREBY STATE THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF DOES CONFORM TO THE APPLICABLE BUILDING CODES AND ORDINANCES, AND ARE IN COMPLIANCE WITH THE ENVIRONMENTAL BARRIERS ACT (410 ILLS 25) AND THE ILLINOIS ACCESSIBILITY CODE (71 III ADM. CODE 400).

Christian Kalischefski
 DATE: 1/ 21 / 2019
 CHRISTIAN KALISCHEFSKI
 ILLINOIS REGISTRATION NUMBER: 001-012930
 DATE OF EXPIRATION: NOVEMBER 30, 2020



DRAWING INDEX

PUD PLAN SET	
A001	SITE PLAN
A003	TRASH ENCLOSURE DETAILS
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A006	NEW LANDSCAPE PLAN
A007	LANDSCAPING PLANTING STANDARDS
A008	LANDSCAPE SPECIFICATIONS

SCOPE OF WORK

THIS IS A RENOVATION OF AN EXISTING SITE. A 1,780 SQ. FT. RESTAURANT WILL BE LOCATED IN THE SAME LOT. THE BUILDING WILL HAVE A WOOD JOIST FLAT ROOF AND PARAPET. DRAWINGS ARE DRAWN AS IF ALL ITEMS ARE NEW, HOWEVER IT IS THE INTENT TO RE-USE THE EXISTING FOUNDATIONS AND WALL STRUCTURE SYSTEM AS MUCH AS POSSIBLE. THE AMOUNT OF ACTUAL EXISTING WALLS AND FOUNDATIONS WILL BE DETERMINED ONCE THOSE ITEMS HAVE BEEN EXPOSED DURING THE DEMO PHASE.

PUD FINAL PLAN SET

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Christian Kalischefski
 Signature Expires: November 30, 2020

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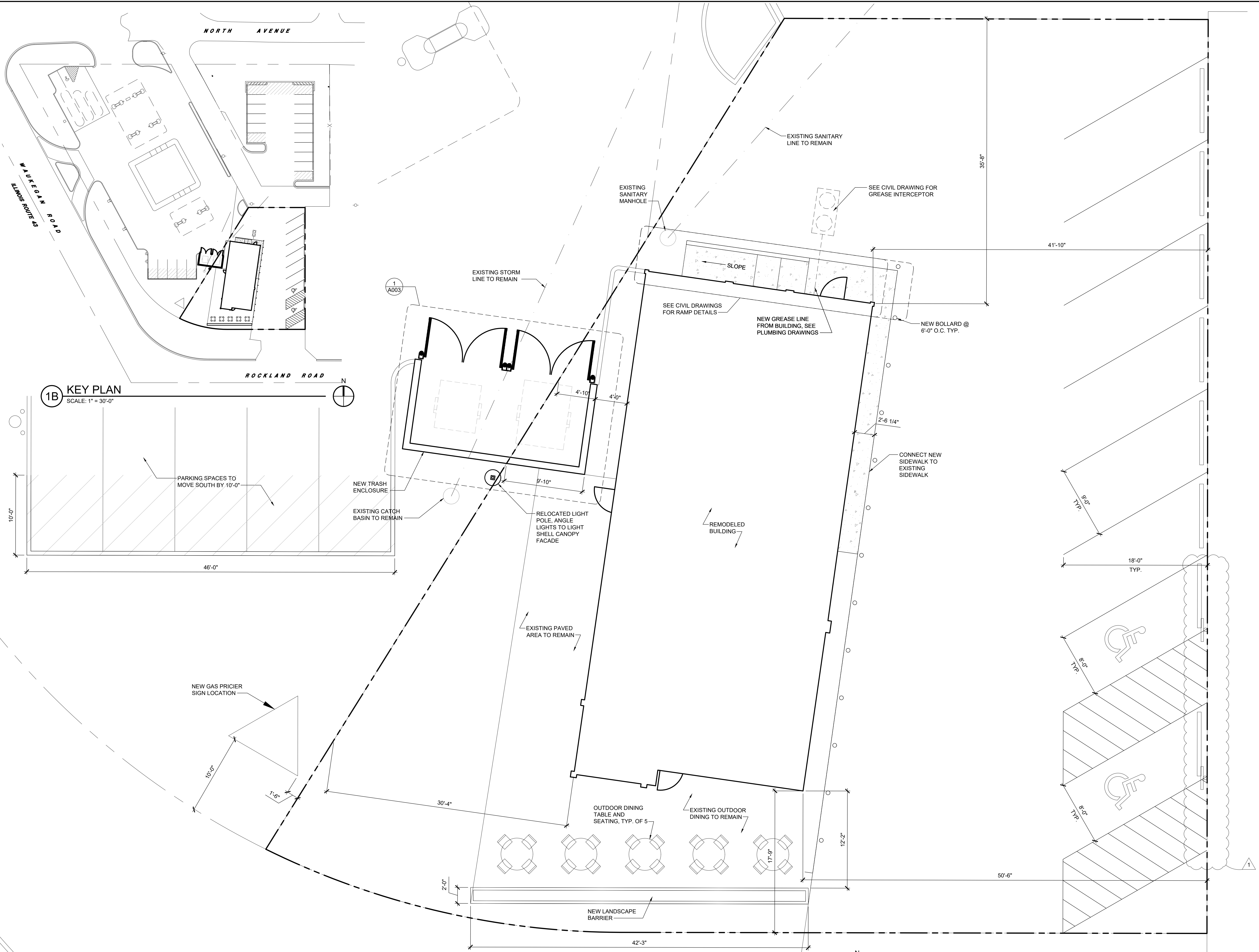
ISSUE

TO	DATE
ZONING	08-14-18
PERMIT	09-24-18
COMMENTS	
PUD FINAL	11-21-18

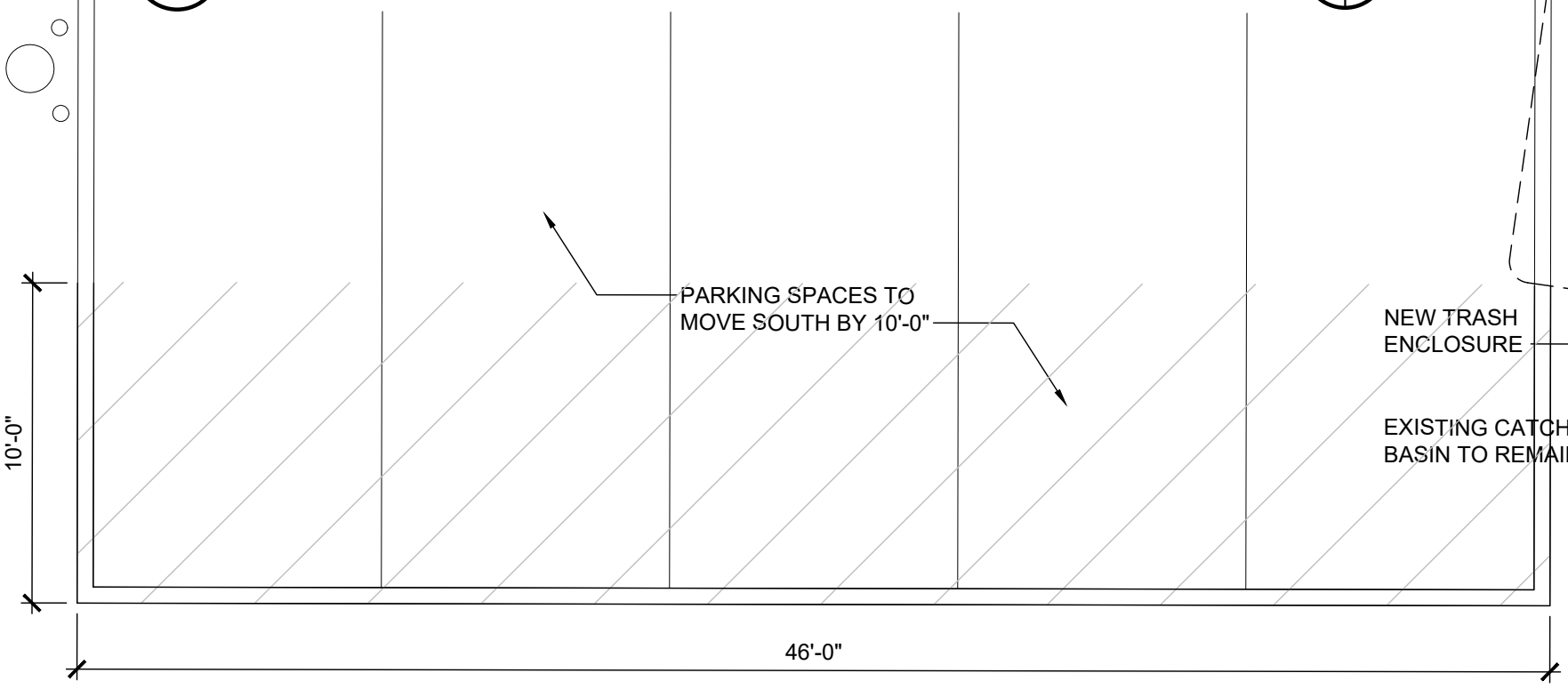
CHECK: JI,CK
 DRAWN: CP,KM
 JOB:D18011

G001
 COVER SHEET

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY



1B KEY PLAN
SCALE: 1" = 30'-0"



1 SITE PLAN
SCALE: 3/16" = 1'-0"

PUD FINAL PLAN SET

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STATE OF ILLINOIS
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 # 12930
 LICENSED ARCHITECT
 Signature: *Christian Kalischeski* Expires: November 30, 2019

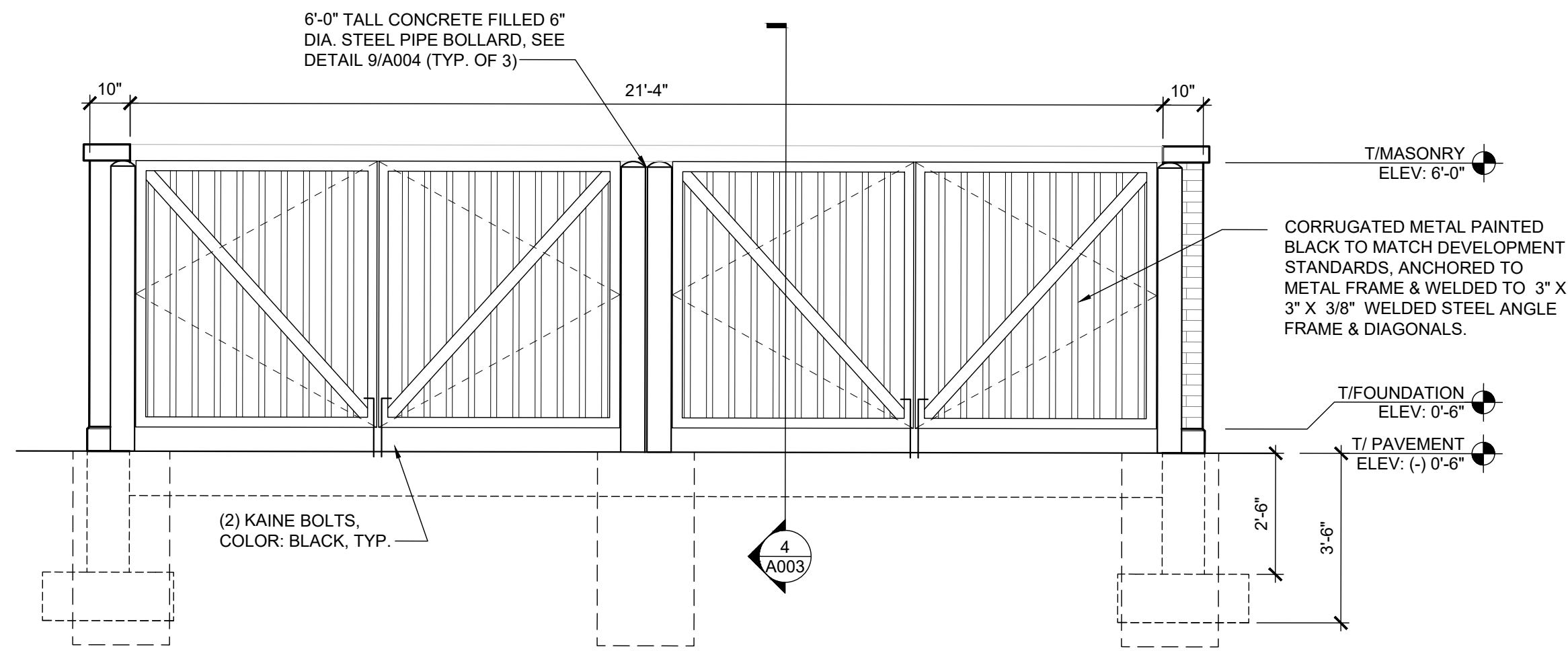
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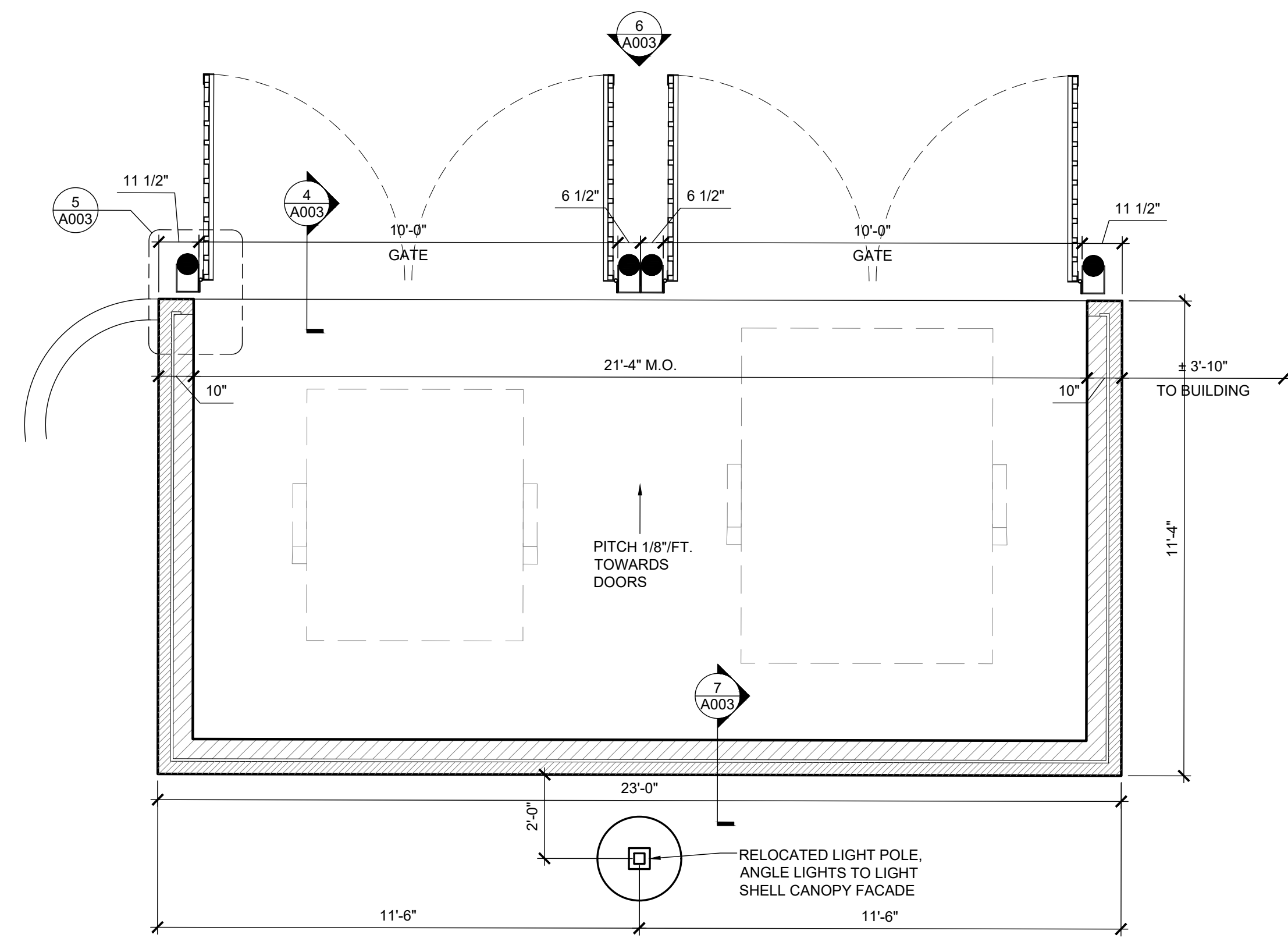
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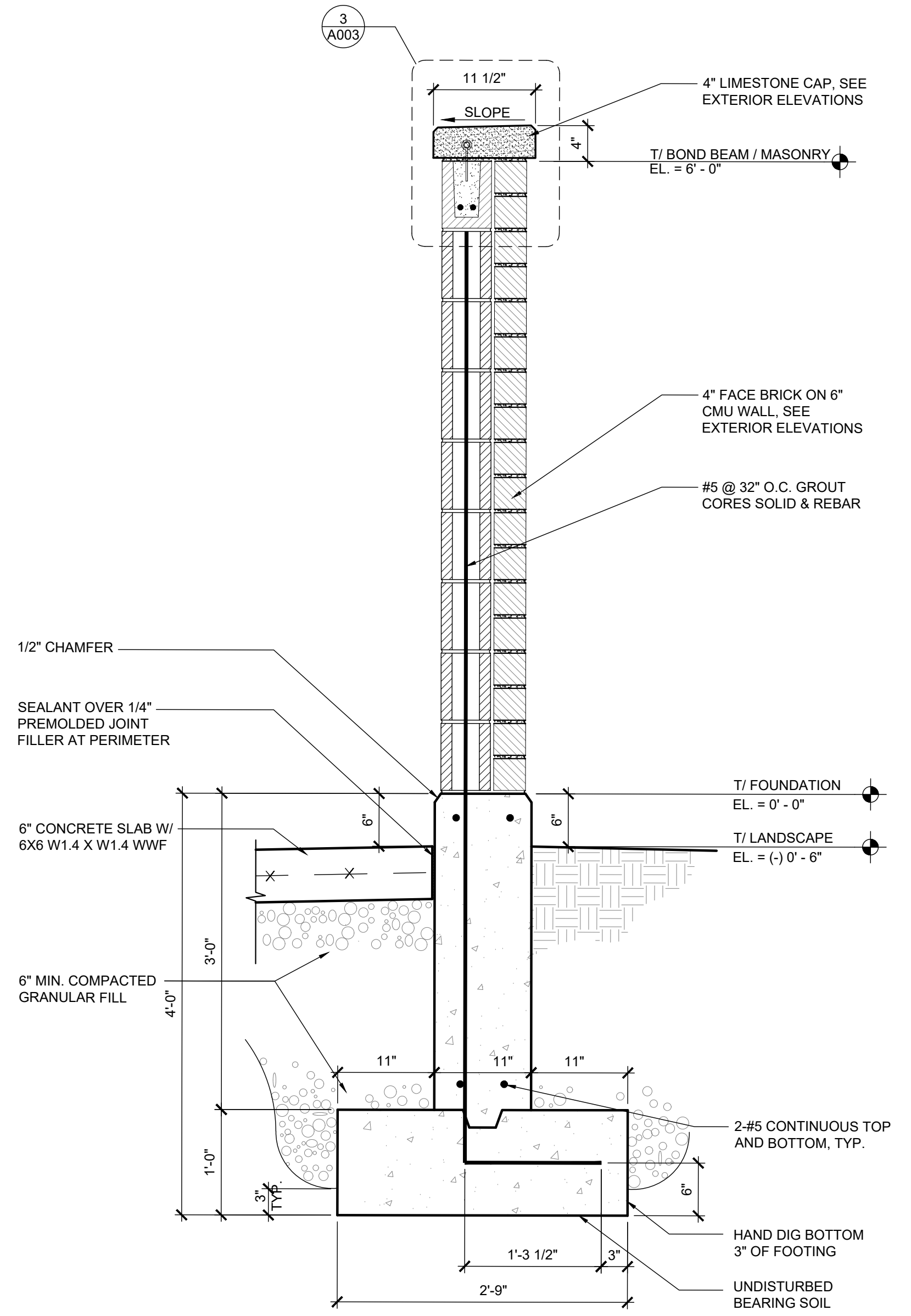
A001
 SITE PLAN



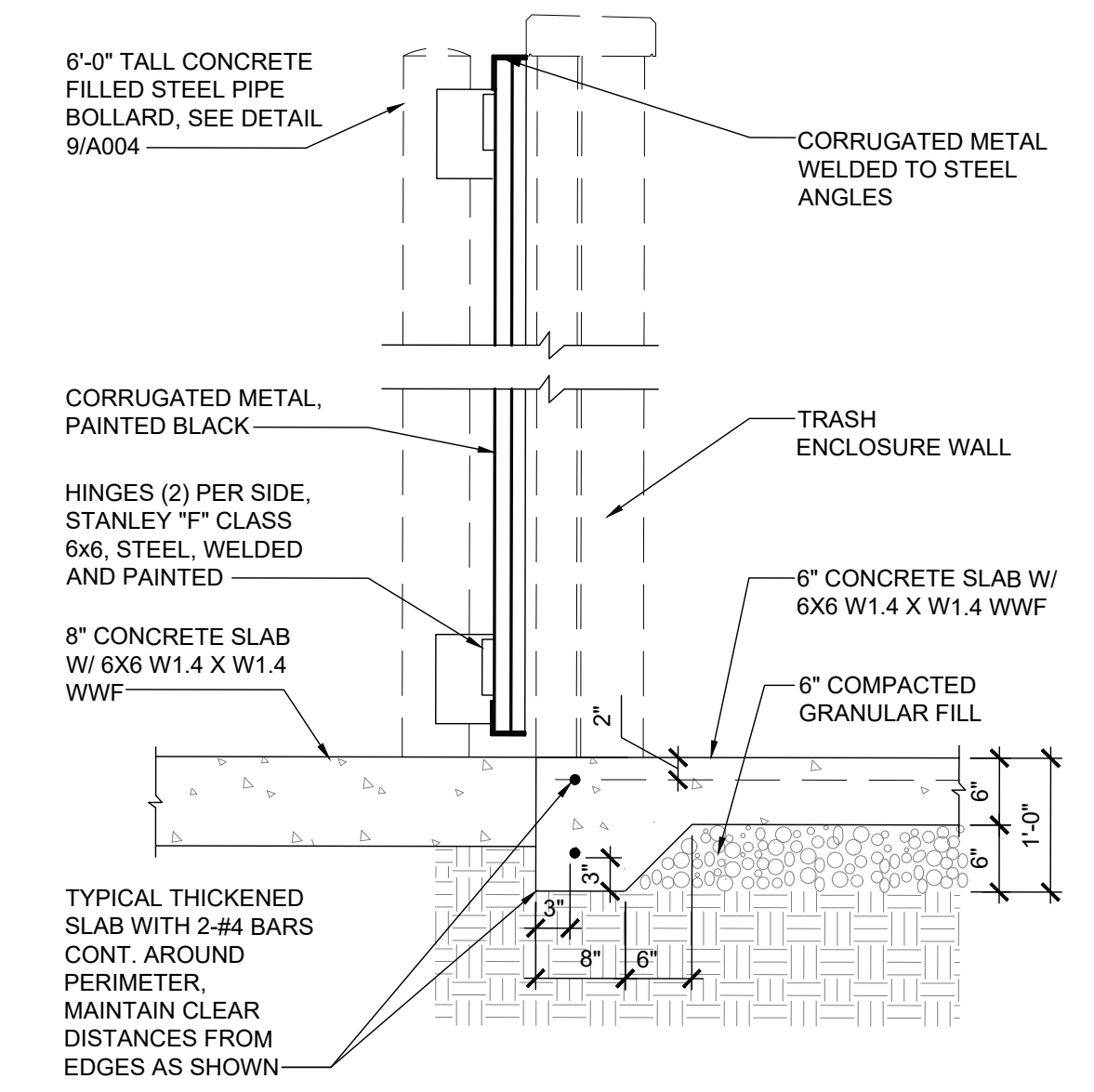
6 NORTH ELEVATION
SCALE: 3/8" = 1'-0"



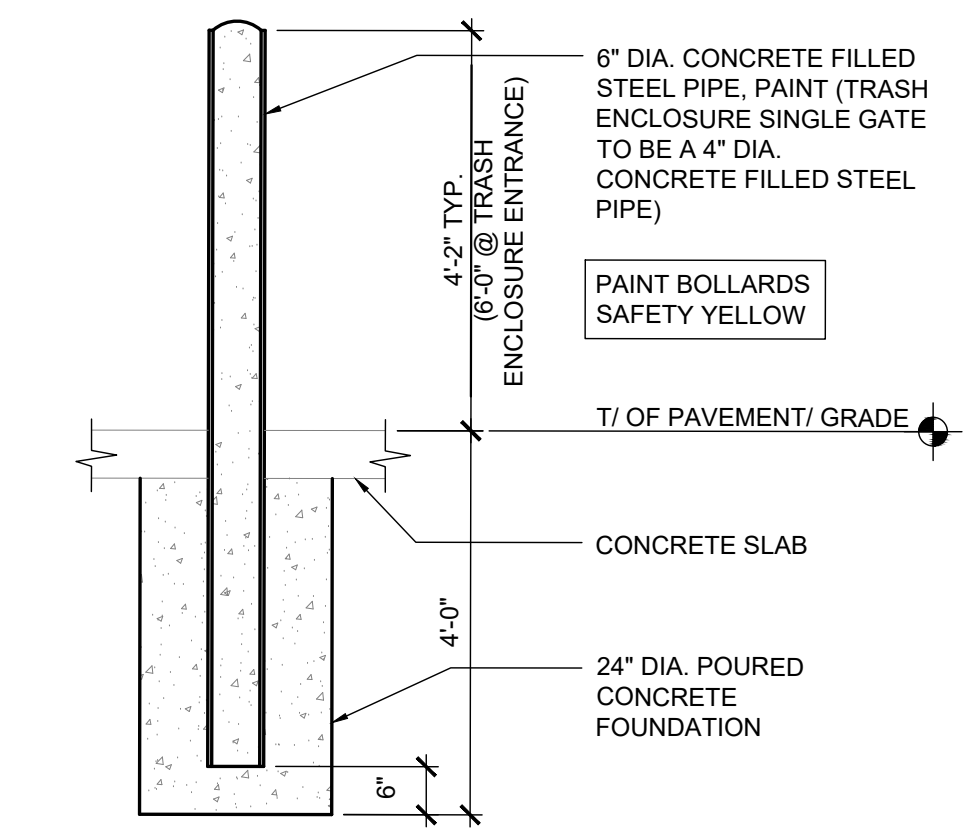
1 TRASH ENCLOSURE PLAN
SCALE: 3/8" = 1'-0"



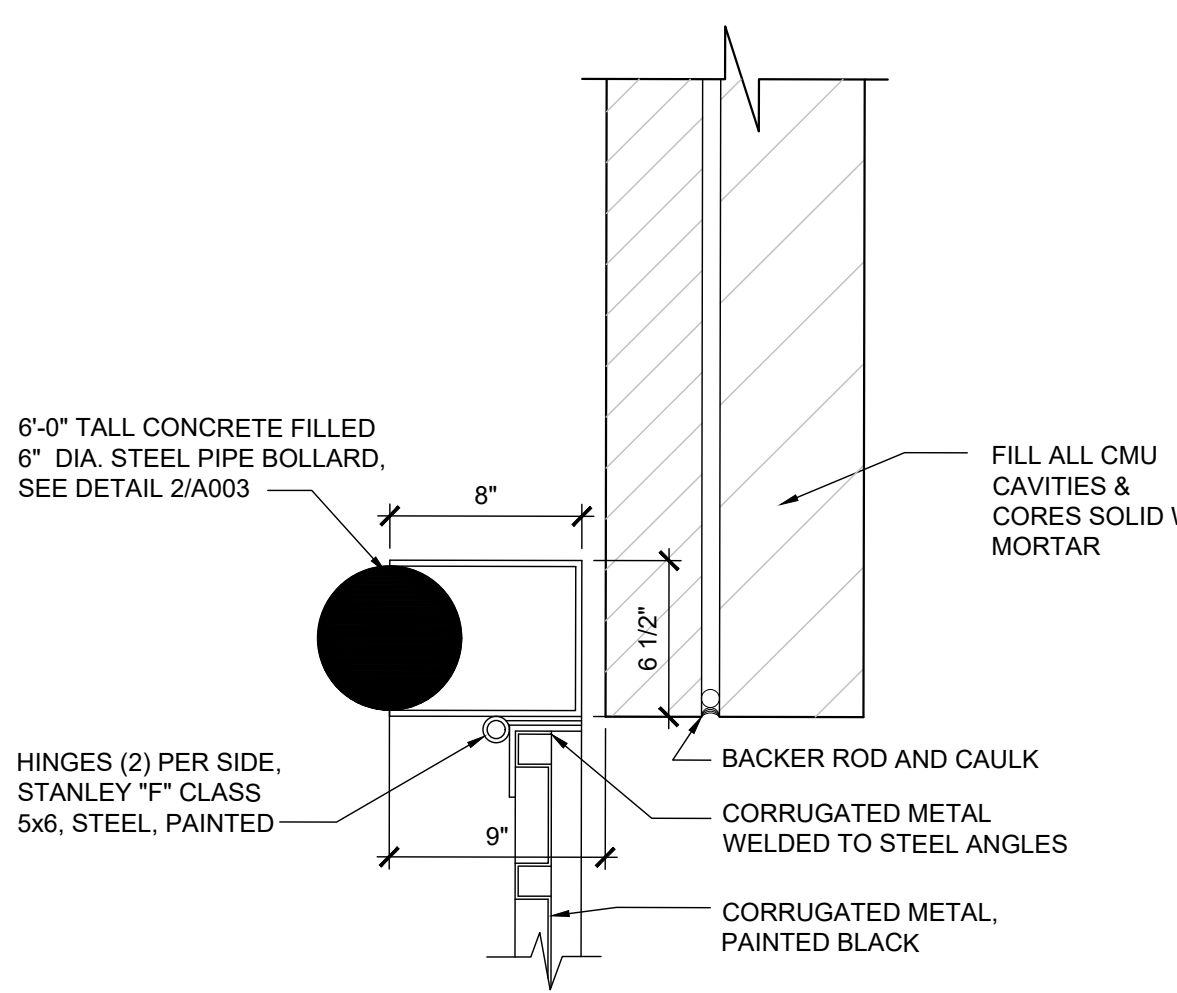
7 ENCLOSURE SECTION
SCALE: 1" = 1'-0"



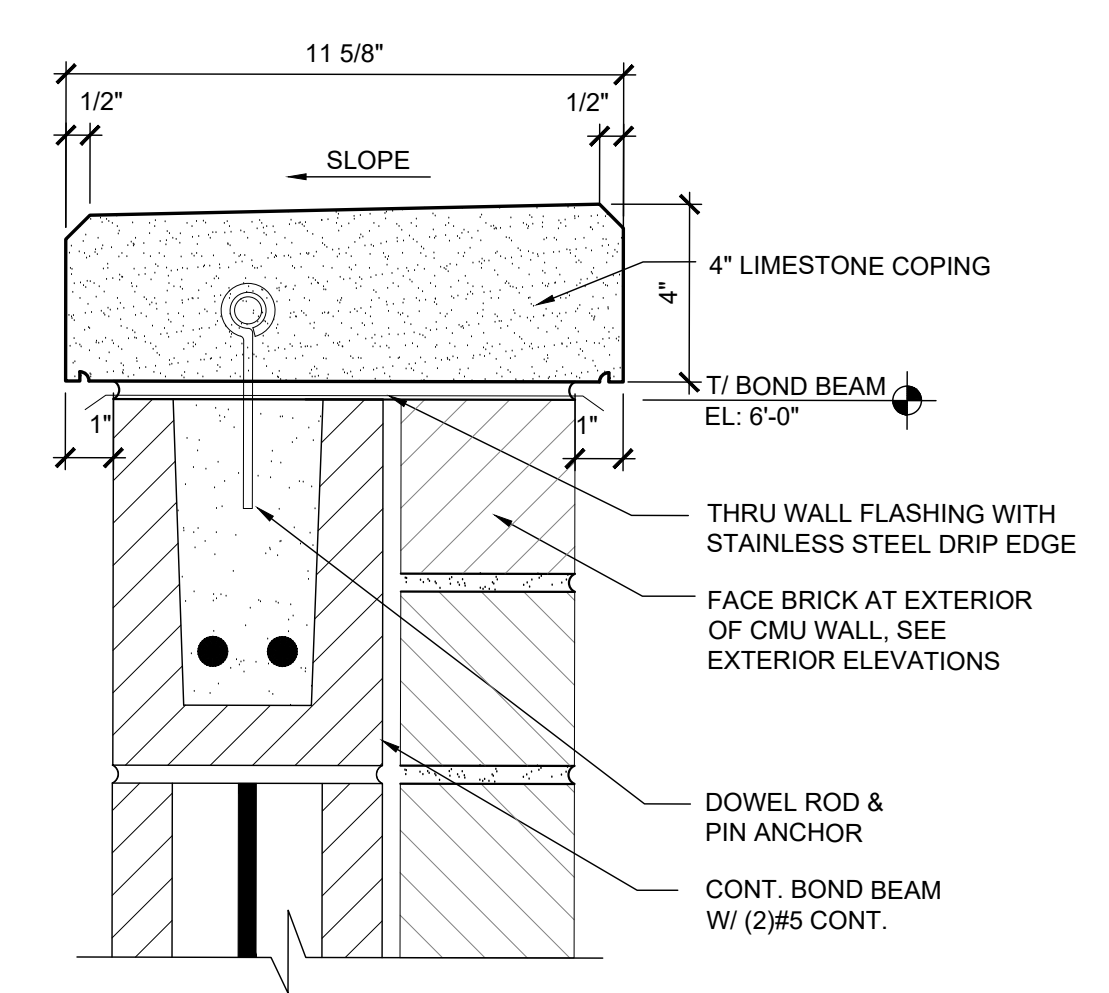
4 GATE SECTION
SCALE: 3/4" = 1'-0"



2 BOLLARD DETAIL
SCALE: 1/2" = 1'-0"



5 GATE DETAIL
SCALE: 1 1/2" = 1'-0"



3 COPING DETAIL
SCALE: 3" = 1'-0"

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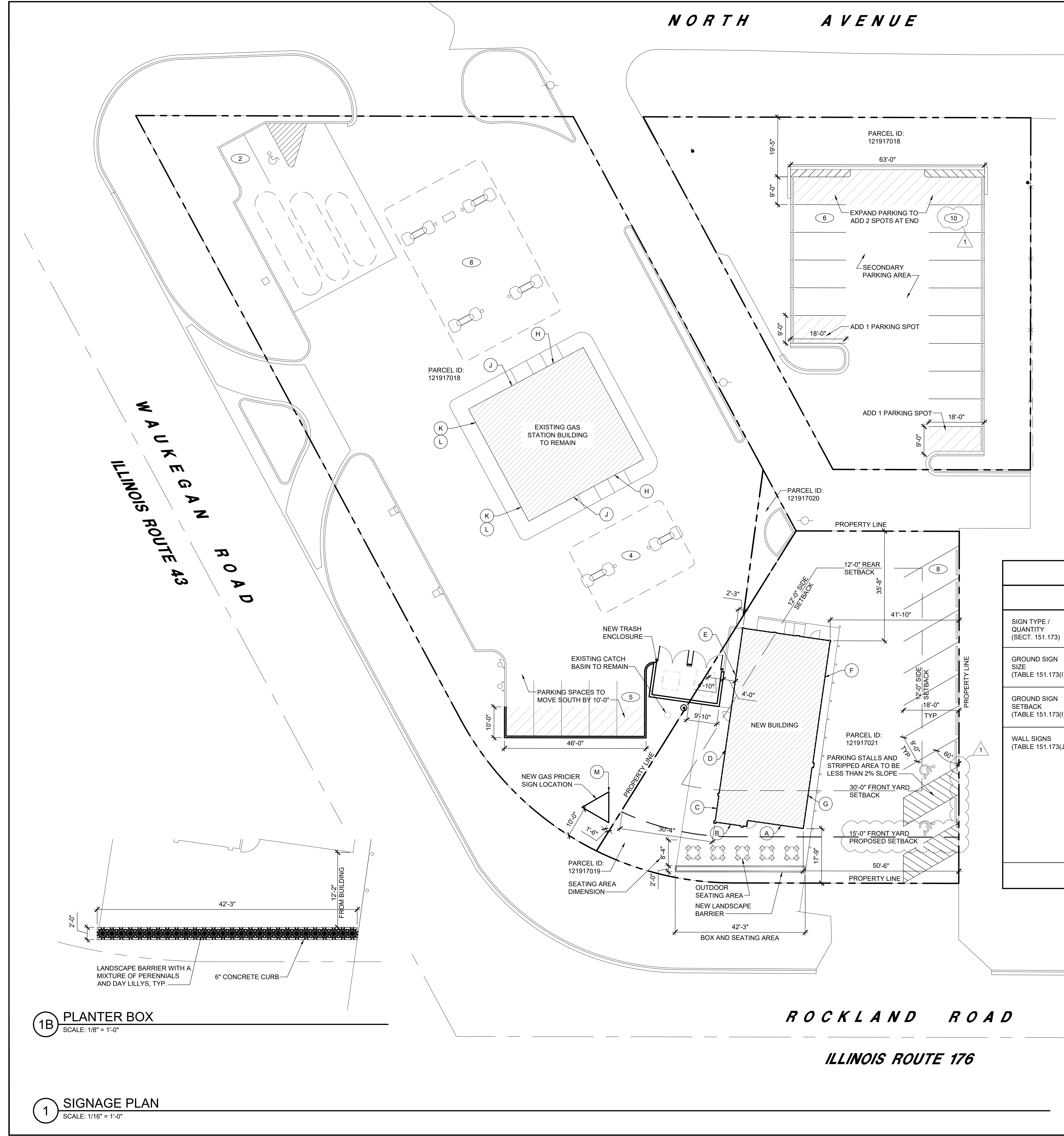


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A003
 TRASH ENCLOSURE DETAILS



ZONING INFORMATION			
SITE ZONING (SECT. 151.095)	MUNICIPALITY / JURISDICTION: LAKE COUNTY EXISTING ZONING: GC - GENERAL COMMERCIAL PROPOSED ZONING: GC - GENERAL COMMERCIAL		
SITE AREA (TABLE 151.125(5))	RESTAURANT LOT AREA: 14 X 0.852 = 11.93 BUILDING AREA: 1318 S.F. EXISTING FAR RATIO: 0.30 PUD SITE IMPERVIOUS SURFACE RATIO: 0.70 TOTAL AREA: 48,076 S.F. PERVIOUS AREA: 10,652 S.F. IMPERVIOUS AREA: 37,424 S.F.	ALLOWED 10,000 S.F. 1780 S.F. 0.174	PROPOSED 9941 S.F. 1780 S.F. 0.174
BUILDING HEIGHT (SECT. 151.131)	MAIN BUILDING: ACCESSORY:	ALLOWED 35'-0" 30'-0"	PROPOSED 20'-0" 6'-0"
BUILDING SETBACKS (SECT. 151.131)	STREET: INTERIOR SIDE YARD: ALLEY / REAR YARD:	REQUIRED 30' 12' 12'	PROPOSED 15'-0" 41'-10" 35'-8"
PARKING / STACKING (SECT. 151.165)	RESTAURANT INT. 14 X 0.852 = 11.93 GROSS S.F. = 1,787 S.F. PUBLIC S.F. = 852 S.F. RESTAURANT EXT. 14 X 0.345 = 4.83 PUBLIC S.F. = 345 S.F. C-STORE 6 PER 1,000 S.F. 6 X 1.75 = 10.5 TOTAL SPACES: 28 SPACES SEATING TO PARTING RATIO (RESTAURANT): 48 SEATS + 20 OUTDOOR = 68 SEATS 24 SPACES ACCESSIBLE STALLS: 1 for 1-25, 2 for 26-50 STACKING: REST. DRIVE THRU 6	REQUIRED 14 PER 1,000 S.F. 8 SPACES + 16 REMOTE 24 SPACES 19 SPACES 43 SPACES 2.82 SEATS PER PARKING SPOT 2	PROPOSED 8 SPACES + 16 REMOTE 24 SPACES 19 SPACES 43 SPACES 2.82 SEATS PER PARKING SPOT N/A
BUILDING OCCUPANCY	PUBLIC AREA (INSIDE) ASSEMBLY NOT FIXED - 15 S.F. NET ASSEMBLY FIXED - # OF SEATS TOTAL PUBLIC AREA (OUTSIDE) ASSEMBLY FIXED - # OF SEATS SERVICE AREA STORAGE - 300 S.F. GROSS KITCHENS - 200 S.F. GROSS TOTAL OVERALL TOTALS INSIDE AND OUTSIDE:	623 S.F. / 15 = 41.5 5 SEATS 47 PEOPLE 20 SEATS 523 S.F./300 = 1.7 223 S.F./200 = 1.1 4 PEOPLE 71 PEOPLE	

SIGNAGE INFORMATION					
RESTAURANT			C-STORE		
SIGN TYPE / QUANTITY (SECT. 151.173)	GROUND SIGNS: N/A WALL SIGNS: 4 ARCHITECTURAL SIGNS: 5		SIGN TYPE / QUANTITY (SECT. 151.173)	GROUND SIGNS: 1 WALL SIGNS: 12 ARCHITECTURAL SIGNS: 5	* ALL C-STORE WALL SIGNS ARE EXISTING AND NO CHANGES/ADDITIONS ARE PROPOSED*
GROUND SIGN SIZE (TABLE 151.173(I))	SIGN AREA: ALLOWED 80 SQ.FT. 30'-0" SIGN HEIGHT: N/A	PROPOSED N/A	GROUND SIGN SIZE (TABLE 151.173(I))	SIGN AREA: ALLOWED 80 SQ.FT. 64 SQ.FT. PER SIDE 3 SIDES SIGN HEIGHT: 30'-0"	EXISTING 64 SQ.FT. PER SIDE 3 SIDES 29'-6"
GROUND SIGN SETBACK (TABLE 151.173(II))	SETBACK: 10'-0" MIN. VISION TRIANGLE: N/A	PROPOSED N/A	GROUND SIGN SETBACK (TABLE 151.173(II))	SETBACK: 10'-0" MIN. VISION TRIANGLE: N/A	EXISTING 10'-0" N/A
WALL SIGNS (TABLE 151.173(J))	TOTAL SIGNAGE: ALLOWED 120 SQ.FT. 154.31 SQ.FT. AREA ON NORTH: 10% OF WALL SQ.FT. NONE AREA ON EAST: 10% OF WALL SQ.FT. 740.9 SQ.FT. WALL 40.61 SQ.FT. 5.48% AREA ON SOUTH: 10% OF WALL SQ.FT. 348.56 SQ.FT. WALL 48.39 SQ.FT. 13.88% AREA ON WEST: 10% OF WALL SQ.FT. 789.65 SQ.FT. WALL 95.31 SQ.FT. 8.48%	PROPOSED 154.31 SQ.FT.	WALL SIGNS (TABLE 151.173(J))	TOTAL SIGNAGE: ALLOWED 285 SQ.FT. 168.8 SQ.FT. AREA ON NE: 10% OF WALL SQ.FT. NONE AREA ON NW: 10% OF WALL SQ.FT. 508 SQ.FT. WALL 37 SQ.FT. 7.28% AREA ON SE: 10% OF WALL SQ.FT. 508 SQ.FT. WALL 37 SQ.FT. 7.28% AREA ON SW: 10% OF WALL SQ.FT. 496 SW.FT. WALL 94.8 SQ.FT. 19.11%	EXISTING 168.8 SQ.FT.
TOTAL SIGNAGE W/ GROUND SIGNS:	200 SQ.FT.	154.31 SQ.FT.	TOTAL SIGNAGE W/ GROUND SIGNS:	365 SQ.FT.	232.8 SQ.FT.

SIGNAGE KEY			
A	WALL SIGN; INTERNALLY ILLUMINATED "SCOOTERS" SIGN 20.91 SF, SEE A201 FOR SIGN ELEVATION.	G	WALL SIGN; INTERNALLY ILLUMINATED "SCOOTERS" SIGN 20.91 SF, SEE A201 FOR SIGN ELEVATION.
B	ARCHITECTURAL SIGN; PVC "BURGER & FRY" CUT OUT, 27.48 SF, SEE A202 FOR SIGN ELEVATIONS.	H	ADVERTISING SIGN; METAL FRAME WITH PVC SIGN INLAY, 6 SF EACH TOTAL 3 SIGNS = 18 SF.
C	ARCHITECTURAL SIGN; PVC "HOT DOG" CUT OUT SIGN, 29.93 SF, SEE A202 FOR SIGNAGE ELEVATIONS.	J	WALL SIGN; INTERNALLY ILLUMINATED "GROVE MART" SIGN 19 SF.
D	WALL SIGN; INTERNALLY ILLUMINATED "SCOOTERS" SIGN 13.38 SF, SEE A202 FOR SIGN ELEVATIONS.	K	WALL SIGN; INTERNALLY ILLUMINATED "GROVE MART" LOGO SIGN, 7.4 SF.
E	WALL SIGN; INTERNALLY ILLUMINATED LOGO SIGN, 22 SF, SEE A202 FOR SIGNAGE ELEVATIONS.	L	WALL SIGN; INTERNALLY ILLUMINATED "GROVE MART" SIGN, 40 SF.
F	ARCHITECTURAL SIGN; PVC "SHAKE & DRINK" CUT OUT 19.7 SF, SEE A202 FOR SIGN ELEVATIONS.	M	PRICER SIGN; INTERNALLY ILLUMINATED GAS STATION SIGN 64 SF PER SIDE (3 SIDED SIGN)

- 1B PLANTER BOX
SCALE: 1/8" = 1'-0"
- 1 SIGNAGE PLAN
SCALE: 1/16" = 1'-0"

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A004
 SIGNAGE PLAN

NORTH AVENUE



1 EXISTING LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"

NOTES

1. FINE GRADE, FERTILIZE AND SOD ALL DISTURBED AREAS.
2. REMOVE ALL TURF ENCOUNTERED WITHIN BED LIMITS AND HAUL FROM SITE. FURNISH AND INSTALL 3" MINIMUM LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH IN ALL PLANTING BEDS AND TREE RINGS.
3. EXISTING TREE, SHRUB, OR PERENNIAL TO REMAIN. PROTECT DURING CONSTRUCTION.
4. RELOCATE EXISTING TREE, SHRUB, OR PERENNIAL, INCLUDING ROOT PACKAGE. GENERAL CONTRACTOR TO MARK/TAG FOR RELOCATION WITH OWNER & COUNTY APPROVAL.
5. EXISTING BERM TO REMAIN.
6. NEW EVERGREEN TREE, MATCH EXISTING SPECIES.
7. NEW SKYROCKET JUNIPER SHRUB.
8. NEW SHRUB, MATCH EXISTING SPECIES.

GENERAL LANDSCAPE NOTES

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING FULLY BOTH THE SITE AND THE BID DOCUMENTS. DISCREPANCIES IN THE DOCUMENTS OR SITE CONDITIONS SHALL BE REPORTED TO LAKE COUNTY PLANNING DEPARTMENT AT THE TIME OF BIDDING OR DISCOVERY. NO ACCOUNT SHALL BE MADE AFTER CONTRACT COMPLETION FOR FAILURE TO REPORT SUCH CONDITIONS, OR FOR ERRORS ON THE PART OF THE LANDSCAPE CONTRACTOR AT THE TIME OF BIDDING.
2. THE PLANT MATERIAL LEGEND IS PREPARED FOR USE BY THE LANDSCAPE CONTRACTOR. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLAN INFORMATION SHALL PREVAIL.
3. PLANTS SHALL MEET SIZE, CONTAINER, AND SPACING SPECIFICATION ON THE PLAN. ANY MATERIAL NOT MEETING SPECIFICATIONS SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
4. ALL TREE AND SHRUB PITS SHALL ADHERE TO THE PLANTING DETAILS AND BE INSPECTED PER THE FOLLOWING SCHEDULE PRIOR TO ADDING BACKFILL.
5. ANY CHANGES IN PLANTING MATERIAL OR LOCATION SHALL FIRST BE APPROVED BY THE LAKE COUNTY PLANNING DEPARTMENT.
6. THE LANDSCAPE CONTRACTOR SHALL GRADE PLANTING BEDS, AS REQUIRED, TO PROVIDE POSITIVE DRAINAGE AND PROMOTE OPTIMUM PLANT GROWTH.
7. ALL PLANTS SHALL BE FERTILIZED WITH AGRIFORM 20-10-5 TABLETS AS PER THE MANUFACTURERS SPECIFICATIONS.
8. ALL PLANTING SOIL SHALL BE INSPECTED AND CONSIST OF 50% SCREENED TOPSOIL AND 50% ORGANIC MATERIAL.
9. ALL PLANTING AREAS NOT SEEDED OR SODDED SHALL RECEIVE A 3" LAYER OF SHREDDED HARDWOOD BARK MULCH.
10. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING ALL REQUIRED SITE AND PLANTING INSPECTIONS TO PERFORM THE WORK SET FORTH IN THIS PLAN.
11. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE, IN WRITING, PLANT SURVIVABILITY FOR A PERIOD OF TWELVE (12) MONTHS FROM FINAL ACCEPTANCE.
12. ANY EXISTING AREAS THAT ARE UNNECESSARILY DISTURBED DURING THE LANDSCAPE INSTALLATION SHALL BE REPAIRED TO MATCH PRIOR EXISTING CONDITIONS.
13. THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR THE COLLECTION, REMOVAL, AND PROPER DISPOSAL OF ANY AND ALL DEBRIS GENERATED DURING THE INSTALLATION OF THIS PROJECT.
14. ANY AND ALL QUESTIONS CONCERNING THE PLAN SET AND/OR SPECIFICATIONS SHALL BE DIRECTED TO LAKE COUNTY PLANNING DEPARTMENT AT 847-377-2875.

MAINTENANCE SCHEDULE

Task	MONTH	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
CARE OF PLANTS													
Monitoring													
Pruning (if needed)													
Deadhead plants													
Fertilization					(Perennials)					Shrubs			
Cut back perennials & grasses													
Watering - as needed													
PLANTING BEDS													
Edging													
Weeding - as needed													
Mulching													
Soil testing													
Leaf Removal													
PEST MANAGEMENT													
Monitoring													
LAWNS													
Fertilize/Lime													
Seeding													
WINTER CLEAN UP													
SNOW REMOVAL PLAN													

Disclaimer: The schedule shown above is for guidance only. Scheduling of maintenance activities should be coordinated with seasonal weather conditions.

LEGEND

- Existing Tree to remain
- Existing Tree to be relocated
- New Tree location
- Existing Deciduous shrub to remain
- Existing Deciduous shrub to be relocated
- New Deciduous shrub location
- Existing Evergreen to remain
- Existing Evergreen to be relocated
- New Evergreen location
- Existing Perennial to remain
- Existing Perennial to be relocated
- New Perennial location

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A005
EXISTING LANDSCAPE PLAN

NORTH AVENUE



NOTES

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6. NEW EVERGREEN TREE, MATCH EXISTING SPECIES.
7. NEW SKYROCKET JUNIPER SHRUB.
8. NEW SHRUB, MATCH EXISTING SPECIES.
9. 1 "PLANT UNIT" PER ITEM 2 ON EXHIBIT A FOR PROPOSED CONDITIONS FOR CASE #PUD-000368-2018 (1 SHADE TREE, 2 ORNAMENTAL TREES, 2 EVERGREENS, 7 SHRUBS, MATCH EXISTING SPECIES).

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11. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE, IN WRITING, PLANT SURVIVABILITY FOR A PERIOD OF TWELVE (12) MONTHS FROM FINAL ACCEPTANCE.
12. ANY EXISTING AREAS THAT ARE UNNECESSARILY DISTURBED DURING THE LANDSCAPE INSTALLATION SHALL BE REPAIRED TO MATCH PRIOR EXISTING CONDITIONS.
13. THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR THE COLLECTION, REMOVAL, AND PROPER DISPOSAL OF ANY AND ALL DEBRIS GENERATED DURING THE INSTALLATION OF THIS PROJECT.
14. ANY AND ALL QUESTIONS CONCERNING THE PLAN SET AND/OR SPECIFICATIONS SHALL BE DIRECTED TO LAKE COUNTY PLANNING DEPARTMENT AT 847-377-2875.

MAINTENANCE SCHEDULE

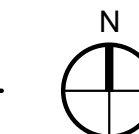
Task	MONTH											
	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
CARE OF PLANTS												
Monitoring												
Pruning (if needed)												
Deadhead plants												
Fertilization				(Perennials)					(Shrubs)			
Cut back perennials & grasses												
Watering - as needed												
PLANTING BEDS												
Edging												
Weeding - as needed												
Mulching												
Soil testing												
Leaf Removal												
PEST MANAGEMENT												
Monitoring												
LAWNS												
Fertilize/Lime												
Seeding												
WINTER CLEAN UP												
SNOW REMOVAL PLAN												

Disclaimer: The schedule shown above is for guidance only. Scheduling of maintenance activities should be coordinated with seasonal weather conditions.

LEGEND

- Existing Tree to remain
- Existing Tree to be relocated
- New Tree location
- Existing Evergreen to remain
- Existing Evergreen to be relocated
- New Evergreen location
- Existing Deciduous shrub to remain
- Existing Deciduous shrub to be relocated
- New Deciduous shrub location
- Existing Perennial to remain
- Existing Perennial to be relocated
- New Perennial location

1 NEW LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"



NOTES

1. FINE GRADE, FERTILIZE AND SOD ALL DISTURBED AREAS.
2. REMOVE ALL TURF ENCOUNTERED WITHIN BED LIMITS AND HAUL FROM SITE. FURNISH AND INSTALL 3" MINIMUM LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH IN ALL PLANTING BEDS AND TREE RINGS.
3. EXISTING TREE, SHRUB, OR PERENNIAL TO REMAIN. PROTECT DURING CONSTRUCTION.
4. RELOCATE EXISTING TREE, SHRUB, OR PERENNIAL, INCLUDING ROOT PACKAGE. GENERAL CONTRACTOR TO MARK/TAG FOR RELOCATION WITH OWNER & COUNTY APPROVAL.
5. EXISTING BERM TO REMAIN.
6. NEW EVERGREEN TREE, MATCH EXISTING SPECIES.
7. NEW SKYROCKET JUNIPER SHRUB.
8. NEW SHRUB, MATCH EXISTING SPECIES.
9. 1 "PLANT UNIT" PER ITEM 2 ON EXHIBIT A FOR PROPOSED CONDITIONS FOR CASE #PUD-000368-2018 (1 SHADE TREE, 2 ORNAMENTAL TREES, 2 EVERGREENS, 7 SHRUBS, MATCH EXISTING SPECIES).

GENERAL LANDSCAPE NOTES

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING FULLY BOTH THE SITE AND THE BID DOCUMENTS. DISCREPANCIES IN THE DOCUMENTS OR SITE CONDITIONS SHALL BE REPORTED TO LAKE COUNTY PLANNING DEPARTMENT AT THE TIME OF BIDDING OR DISCOVERY. NO ACCOUNT SHALL BE MADE AFTER CONTRACT COMPLETION FOR FAILURE TO REPORT SUCH CONDITIONS, OR FOR ERRORS ON THE PART OF THE LANDSCAPE CONTRACTOR AT THE TIME OF BIDDING.
2. THE PLANT MATERIAL LEGEND IS PREPARED FOR USE BY THE LANDSCAPE CONTRACTOR. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLAN INFORMATION SHALL PREVAIL.
3. PLANTS SHALL MEET SIZE, CONTAINER, AND SPACING SPECIFICATION ON THE PLAN. ANY MATERIAL NOT MEETING SPECIFICATIONS SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
4. ALL TREE AND SHRUB PITS SHALL ADHERE TO THE PLANTING DETAILS AND BE INSPECTED PER THE FOLLOWING SCHEDULE PRIOR TO ADDING BACKFILL.
5. ANY CHANGES IN PLANTING MATERIAL OR LOCATION SHALL FIRST BE APPROVED BY THE LAKE COUNTY PLANNING DEPARTMENT.
6. THE LANDSCAPE CONTRACTOR SHALL GRADE PLANTING BEDS, AS REQUIRED, TO PROVIDE POSITIVE DRAINAGE AND PROMOTE OPTIMUM PLANT GROWTH.
7. ALL PLANTS SHALL BE FERTILIZED WITH AGRIFORM 20-10-5 TABLETS AS PER THE MANUFACTURERS SPECIFICATIONS.
8. ALL PLANTING SOIL SHALL BE INSPECTED AND CONSIST OF 50% SCREENED TOPSOIL AND 50% ORGANIC MATERIAL.
9. ALL PLANTING AREAS NOT SEEDED OR SODDED SHALL RECEIVE A 3" LAYER OF SHREDDED HARDWOOD BARK MULCH.
10. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING ALL REQUIRED SITE AND PLANTING INSPECTIONS TO PERFORM THE WORK SET FORTH IN THIS PLAN.
11. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE, IN WRITING, PLANT SURVIVABILITY FOR A PERIOD OF TWELVE (12) MONTHS FROM FINAL ACCEPTANCE.
12. ANY EXISTING AREAS THAT ARE UNNECESSARILY DISTURBED DURING THE LANDSCAPE INSTALLATION SHALL BE REPAIRED TO MATCH PRIOR EXISTING CONDITIONS.
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Task	MONTH											
	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
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Deadhead plants												
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Disclaimer: The schedule shown above is for guidance only. Scheduling of maintenance activities should be coordinated with seasonal weather conditions.

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- Existing Deciduous shrub to be relocated
- New Deciduous shrub location
- Existing Perennial to remain
- Existing Perennial to be relocated
- New Perennial location

PUD FINAL PLAN SET

WT GROUP
Engineering with Precision, Pace and Passion.
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wengrping.com
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Signature: *Christian Kalischefski*
Expires: November 30, 2019

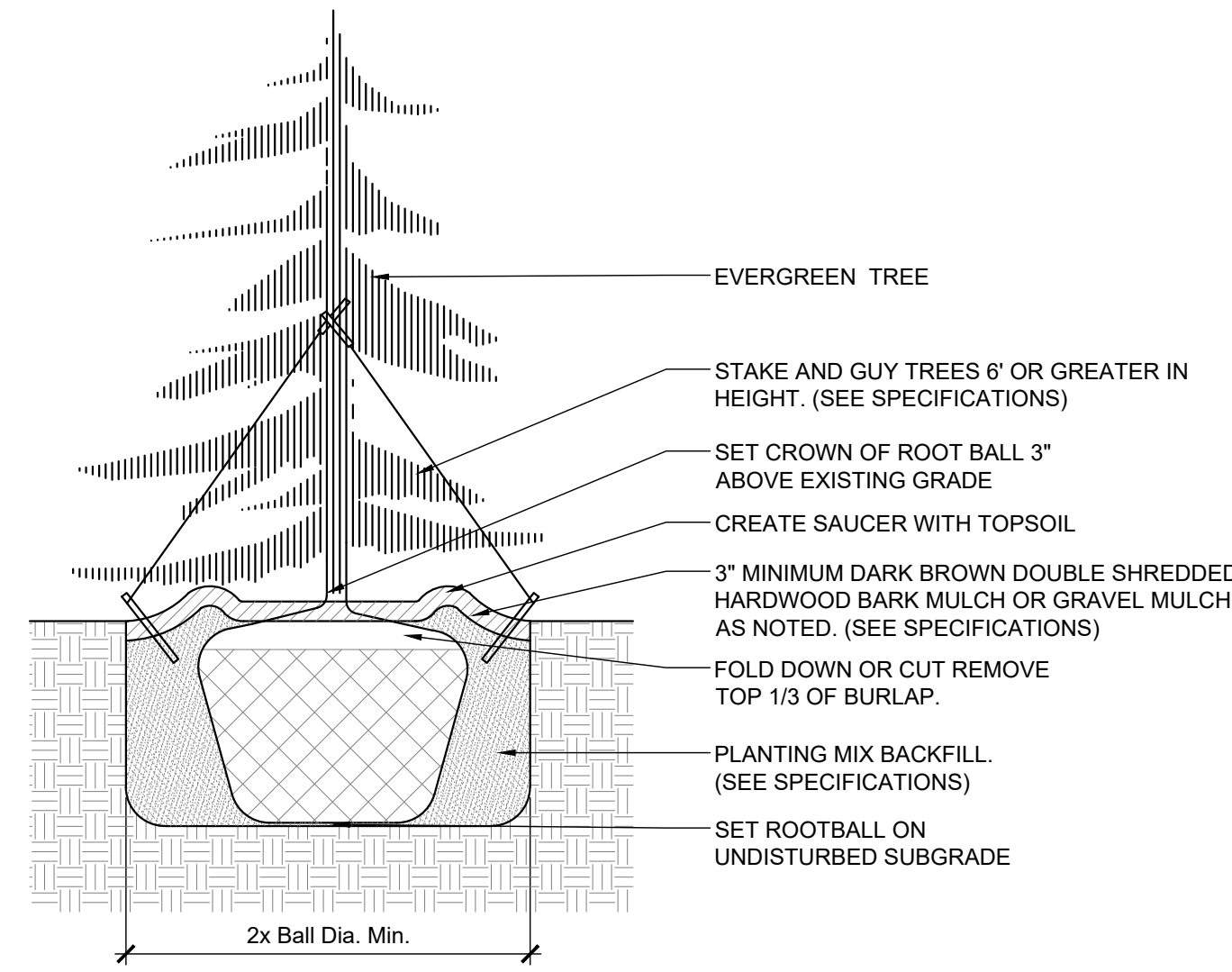
SCOOTERS RESTAURANT
12610 ROCKLAND ROAD
LAKE BLUFF, IL 60044



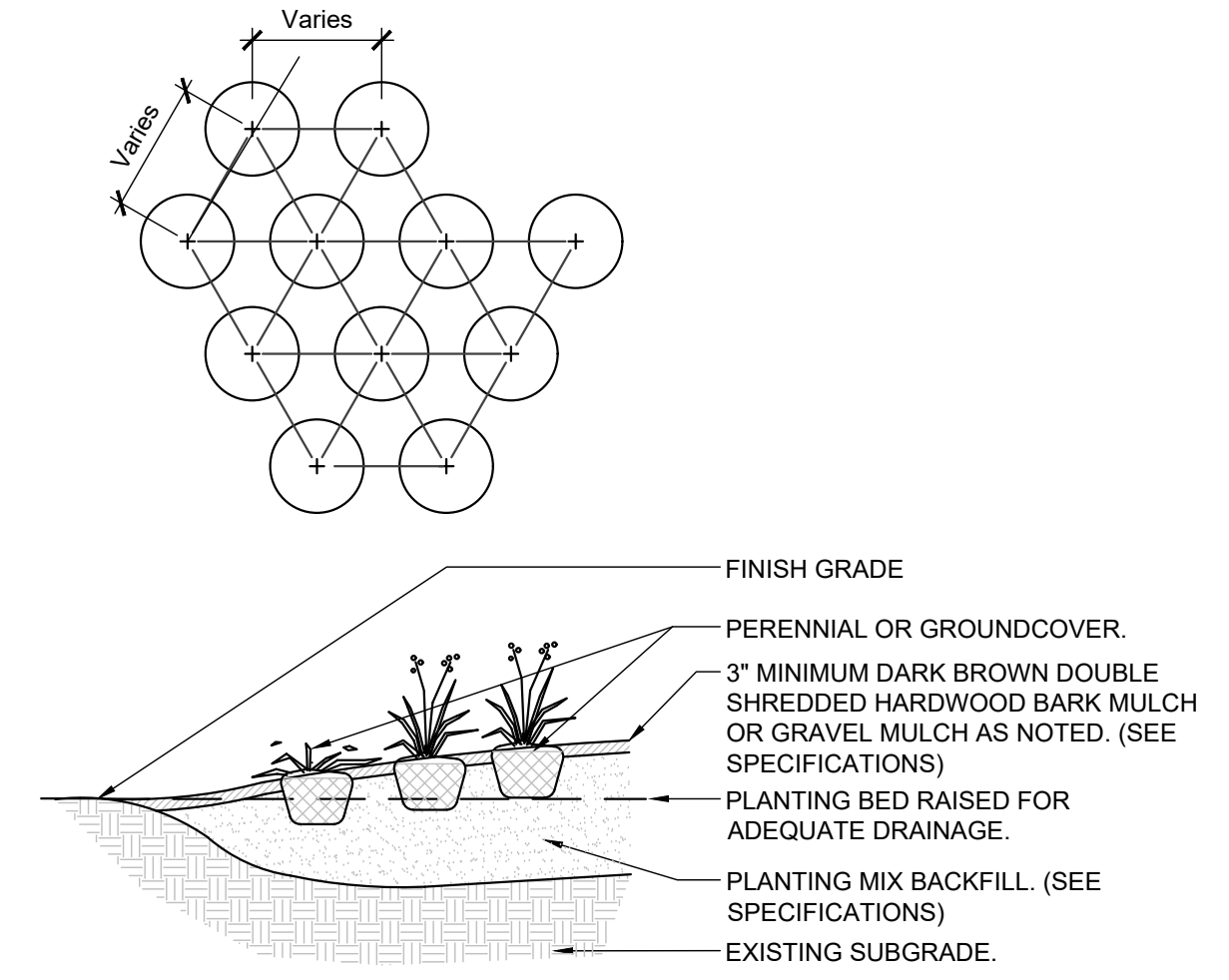
ISSUE	TO	DATE
PERMIT	05-25-18	
ZONING/ PERMIT	07-18-18	
ZONING/ PERMIT	08-14-18	
PERMIT COMMENTS	09-24-18	
PUD FINAL	11-21-18	

CHECK: JI,CK
DRAWN: CP,KM
JOB:D18011

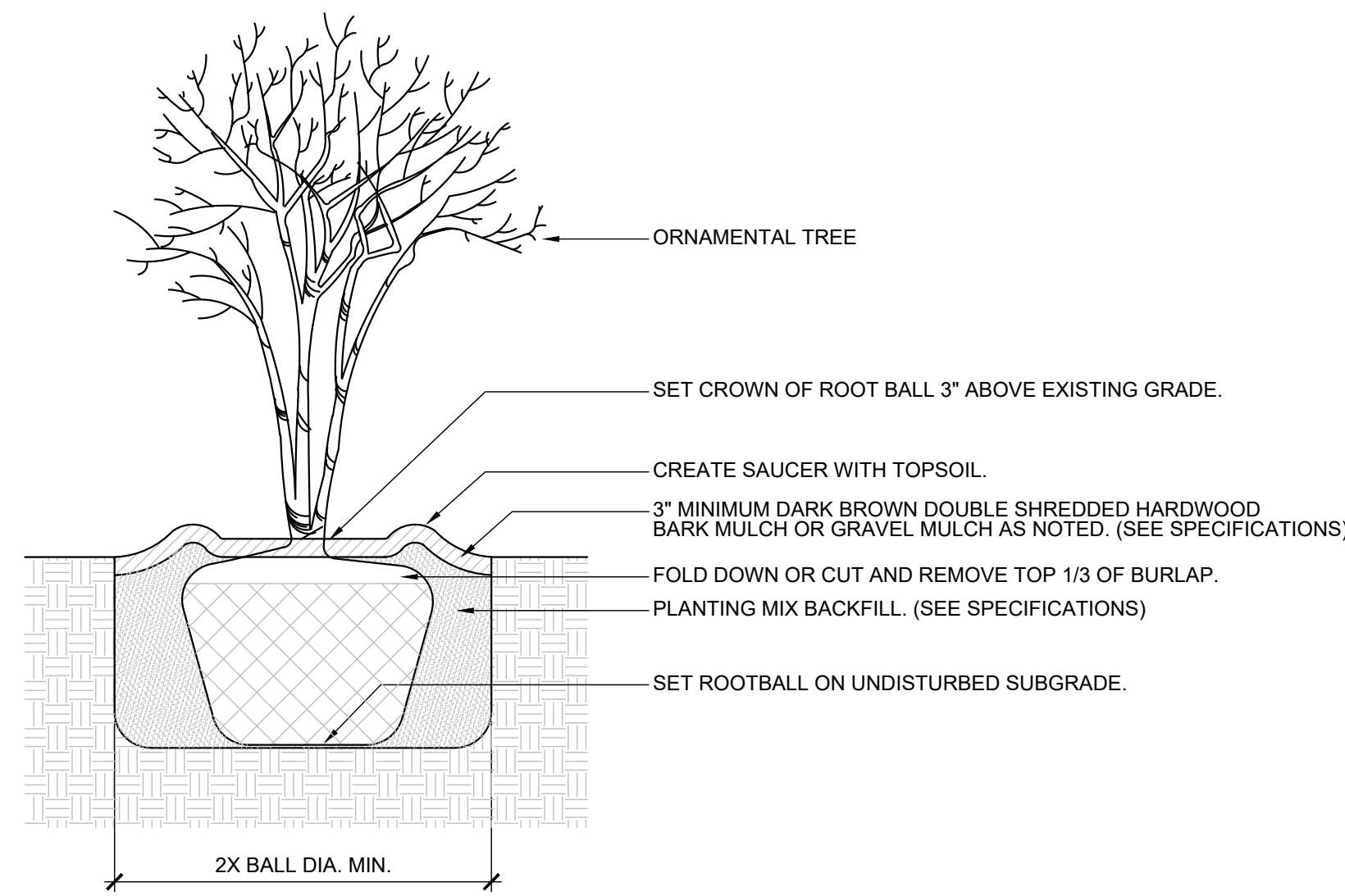
A006
NEW LANDSCAPE PLAN



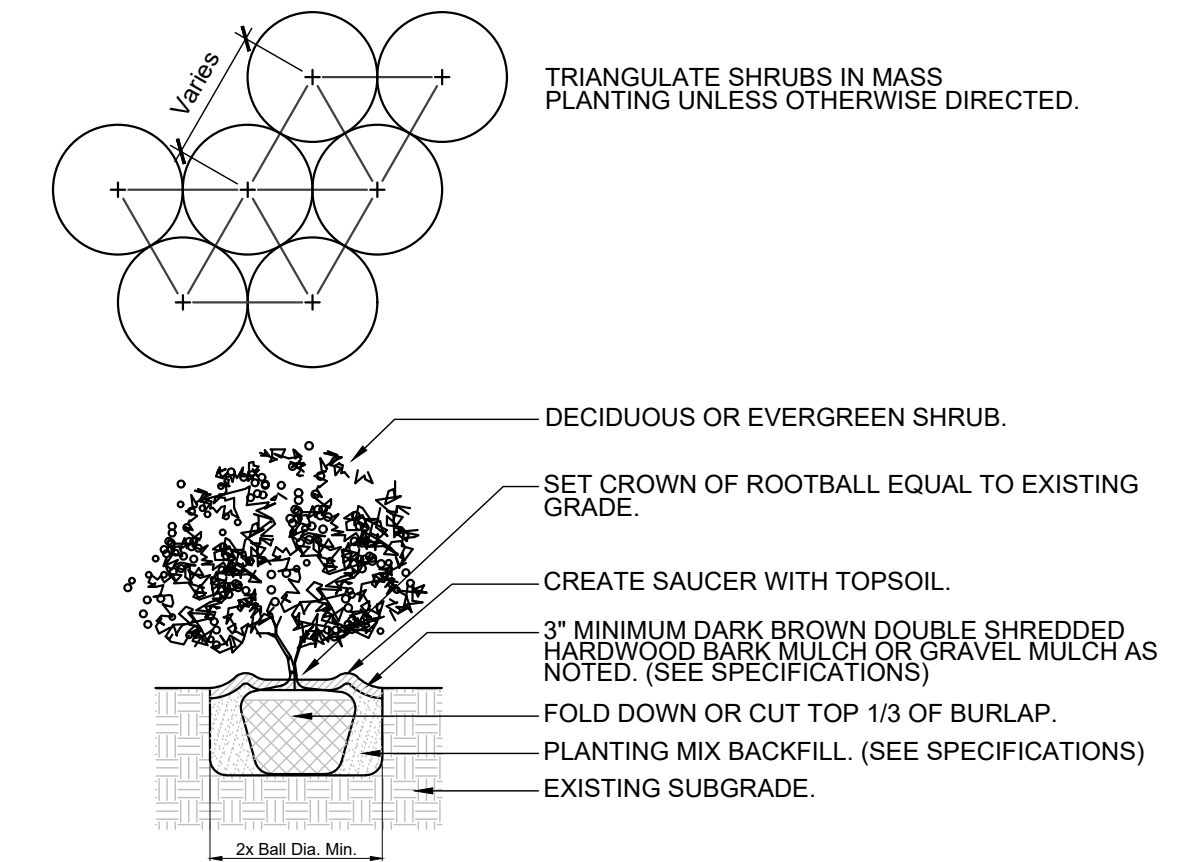
1 EVERGREEN TREE PLANTING
SCALE: N.T.S.



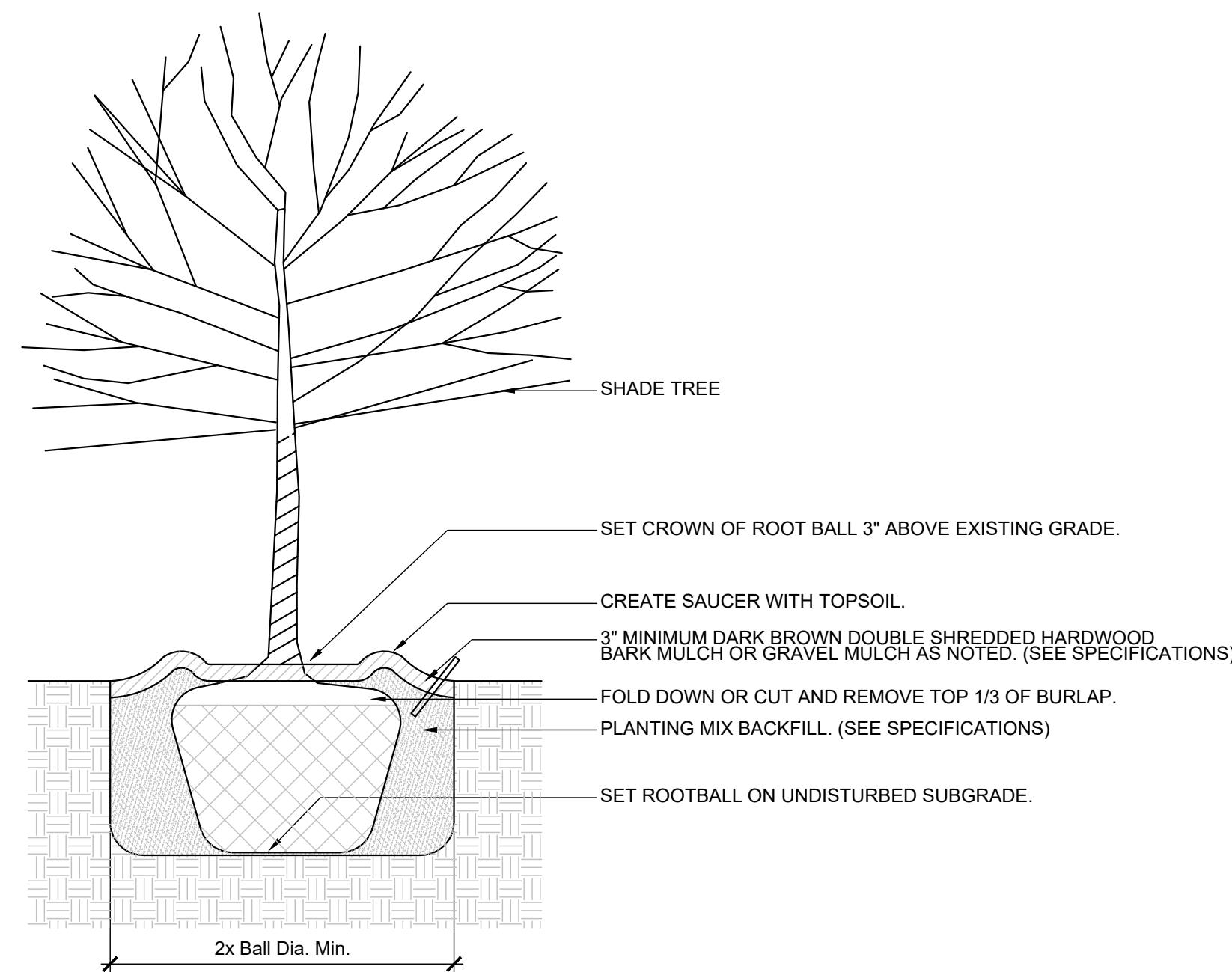
4 PERENNIAL PLANTING
SCALE: N.T.S.



2 ORNAMENTAL TREE PLANTING
SCALE: N.T.S.



5 SHRUB PLANTING
SCALE: N.T.S.



3 SHADE TREE PLANTING
SCALE: N.T.S.

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

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WT Group
 Engineering • Design • Consulting

STATE OF ILLINOIS
 CHRISTIAN KALISCHESKI
 # 12930
 LICENSED ARCHITECT
 Signature: *Christian Kalischeski*
 Expires: November 30, 2019

SCOOTERS RESTAURANT
 12610 ROCKLAND ROAD
 LAKE BLUFF, IL 60044



ISSUE

TO	DATE
PERMIT	05-25-18
ZONING/ PERMIT	07-18-18
ZONING	08-14-18
PERMIT	09-24-18
COMMENTS	
PUD FINAL	11-21-18

CHECK: JI,CK
 DRAWN: CP,KM
 JOB:D18011

A007
 LANDSCAPE PLANTING STANDARDS

SPECIFICATIONS

SECTION 32 92 00 - TURF AND GRASSES	SECTION 32 92 00 - TURF AND GRASSES, CONTINUED	SECTION 32 93 00 - PLANTS	SECTION 32 93 00 - PLANTS, CONTINUED	SECTION 32 93 00 - PLANTS, CONTINUED	SECTION 32 93 00 - PLANTS, CONTINUED																						
<p>1.0 GENERAL DESCRIPTION</p> <p>THIS WORK SHALL CONSIST OF CULTIVATING AND FINE GRADING OF TOPSOIL, ROCK AND DEBRIS REMOVAL, FERTILIZING AND SOD INSTALLATION.</p> <p>1.1 SUBMITTALS</p> <p>THE CONTRACTOR MUST SUBMIT FERTILIZER MIXTURE TAGS AND SOD SPECIFICATIONS FROM THE SOD NURSERY FOR APPROVAL BY THE LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE. PRODUCTS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE PRIOR TO ANY INSTALLATION.</p> <p>1.2 PRODUCT DELIVERY, STORAGE AND HANDLING</p> <p>ALL SOD, FERTILIZER AND OTHER MATERIALS TO BE USED FOR THE INSTALLATION MUST BE PROTECTED FROM WEATHER DAMAGE DURING TRANSIT AND VANDALISM WHILE STORED AT THE PROJECT SITE. ANY MATERIALS THAT HAVE BEEN DAMAGED BY ANY OF THE ABOVE WILL NOT BE ACCEPTABLE FOR USE ON THE PROJECT.</p> <p>1.3 PROTECTION</p> <p>THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROTECTION OF ANY SODDED AREAS UNTIL THE FINAL ACCEPTANCE OF THE INSTALLATION. THE CONTRACTOR MAY ONLY USE BARRICADES, DEVICES OR PRODUCTS THAT ARE ACCEPTABLE TO THE OWNER OR THE LANDSCAPE ARCHITECT FOR PROTECTION OF SODDED AREAS.</p> <p>2.0 PRODUCTS</p> <p>A. WATER: THE CONTRACTOR WILL BE REQUIRED TO SUPPLY WATER INCLUDING ALL METERS, HOSES AND CONNECTIONS, ETC. NECESSARY TO WATER THE TURF AREAS.</p> <p>B. SOD:</p> <ol style="list-style-type: none"> ALL SOD USED FOR THIS PROJECT MUST BE BLENDED BLUE GRASS AS SPECIFIED BELOW, WITH NO MORE THAN 5% WEEDS OR OTHER GRASSES. THE SOD MUST BE FREE OF ROCKS, STONES OR DEBRIS AND MUST HAVE A 1" MINIMUM THICKNESS OF SOIL AND AN ADEQUATE ROOT SYSTEM. SOD MUST BE CUT INTO ONE (1) SQUARE YARD SECTIONS. BIG ROOT SOD IN WIDTHS OF 30" ARE ALSO ACCEPTABLE. ALL SOD USED MUST CONTAIN EQUAL PERCENTAGES OF AT LEAST FOUR DIFFERENT VARIETIES OF THE FOLLOWING: <ul style="list-style-type: none"> A. MIDNIGHT B. COLUMBIA C. NUGLADE D. RUGBY II E. BLUEMOON F. NUBLUE ALL SOD MUST BE SUPPLIED BY GROWERS WITHIN A FIFTY (50) MILE RADIUS OF THE PROJECT SITE. THE SOD MUST BE DELIVERED TO THE PROJECT SITE ON SKIDS OR PALLETS. DUMPING OF SOD FROM ANY VEHICLE IS NOT PERMITTED. DAMAGED SOD OR ANY SOD THAT APPEARS TO BE DRY OR IN DECLINE WILL NOT BE ACCEPTED. ALL SOD MUST BE PLANTED WITHIN FORTY-EIGHT (48) HOURS AFTER IT HAS BEEN HARVESTED. <p>C. FERTILIZER:</p> <ol style="list-style-type: none"> COMMERCIAL FERTILIZERS MUST CONTAIN THE FOLLOWING PERCENTAGES BY WEIGHT: <table border="1" data-bbox="305 1205 610 1369"> <tr> <td colspan="2">PRIOR TO SEEDING 10-18-18 WITH 30% NUTRALENE</td> </tr> <tr> <td>NITROGEN</td> <td>10%</td> </tr> <tr> <td>PHOSPHORIC ACID</td> <td>18%</td> </tr> <tr> <td>POTASH</td> <td>18%</td> </tr> <tr> <td colspan="2">AFTER SEEDING 18-5-9</td> </tr> <tr> <td>NITROGEN</td> <td>18%</td> </tr> <tr> <td>PHOSPHORIC ACID</td> <td>05%</td> </tr> <tr> <td>POTASH</td> <td>09%</td> </tr> </table> ALL FERTILIZER MUST BE DELIVERED TO THE PROJECT SITE IN UNOPENED BAGS, WHICH INCLUDE IDENTIFICATION TAGS OR LABELS. 	PRIOR TO SEEDING 10-18-18 WITH 30% NUTRALENE		NITROGEN	10%	PHOSPHORIC ACID	18%	POTASH	18%	AFTER SEEDING 18-5-9		NITROGEN	18%	PHOSPHORIC ACID	05%	POTASH	09%	<p>3.0 EXECUTION</p> <p>A. THE CONTRACTOR MUST INSPECT ALL FINAL GRADING PREPARED BY THE GRADING CONTRACTOR AND REQUEST APPROVAL FROM THE LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE TO BEGIN SEED OR SOD INSTALLATION. ANY DISPARITIES NOTED IN THE FINAL TOPSOIL GRADES MUST BE REVIEWED BY THE LANDSCAPE ARCHITECT AND RESOLVED PRIOR TO THE COMMENCEMENT OF SOD INSTALLATION.</p> <p>B. FINE GRADING:</p> <ol style="list-style-type: none"> ALL AREAS TO BE SODDED SHALL BE PREPARED BY PULVERIZING THE SOIL TO A MINIMUM DEPTH OF THREE (3) INCHES. THIS PROCESS SHALL INCLUDE ROTOTILLING AND/OR DISKING, AND RAKING AND DRAGGING THE SOIL TO PRODUCE A SMOOTH BED FOR SOD INSTALLATION. ALL ROCKS AND OTHER DEBRIS 3/4 INCH IN DIAMETER OR GREATER MUST BE REMOVED FROM THE SURFACE PRIOR TO SODDING. SHOULD PREVIOUSLY CONDITIONED SOIL BECOME COMPACTED BY WEATHER, CONSTRUCTION EQUIPMENT OR OTHER MEANS, THE AREA SHALL BE RE-CONDITIONED AS INDICATED ABOVE. <p>3.1 INSTALLATION</p> <p>A. PLANTING SEASONS:</p> <ol style="list-style-type: none"> SOD MAY BE INSTALLED FROM MARCH 1ST THROUGH JUNE 15TH AND FROM AUGUST 15TH THROUGH NOVEMBER 1ST. IF REQUESTED IN WRITING AND APPROVED BY THE LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE, THE PLANTING SEASONS LISTED ABOVE MAY BE EXTENDED DUE TO FAVORABLE WEATHER CONDITIONS. <p>B. FERTILIZING:</p> <p>FERTILIZER MUST BE MECHANICALLY BROADCAST OR SPREAD AND TILLED INTO THE TOP THREE (3) INCHES OF SOIL AT THE RATE OF 5.5 LBS. PER 1,000 SQUARE FEET OR 240 LBS/ACRE.</p> <p>C. SODDING:</p> <ol style="list-style-type: none"> SOD SHALL BE INSTALLED TIGHTLY TOGETHER WITH THE JOINTS ON THE LONG DIMENSION OF THE SOD STAGGERED IN A FASHION EQUAL TO RUNNING BOND BRICK. AFTER THE SOD IS LAID, IT MUST BE WATERED THOROUGHLY AND ROLLED IF NECESSARY TO ADHERE THE SOD TO THE SOIL. <p>3.2 MAINTENANCE, CLEAN-UP AND ACCEPTANCE</p> <p>A. MAINTENANCE: THE CONTRACTOR MUST PROVIDE MAINTENANCE OF SODDED AREAS UNTIL THE DATE OF FINAL ACCEPTANCE, INCLUDING THE FOLLOWING:</p> <ol style="list-style-type: none"> WATERING OF TURF. RE-FERTILIZING WITH A COMMERCIAL FERTILIZER AT THE RATE OF 5.5 LBS. PER 1,000 SQUARE FEET (240 LBS/ACRE) ON ONE OCCASION. REPLACEMENT OF SOD, WHICH FAILS TO GROW OR IS IN A STATE OF DECLINE USING THE SAME SOD MIXTURE AS PREVIOUSLY INSTALLED. ALL SODDED AREAS MUST BE MAINTAINED AS NOTED ABOVE FOR A PERIOD OF THIRTY (30) DAYS AFTER INSTALLATION OR UNTIL A UNIFORM AND CONSISTENT STAND OF GRASS HAS BEEN ESTABLISHED. A UNIFORM AND CONSISTENT STAND OF TURF WILL BE DEFINED AS TURF THAT IS FULL AND EVEN WITH NO BARE AREAS. <p>B. CLEAN UP:</p> <ol style="list-style-type: none"> ALL DEBRIS GENERATED BY THIS WORK SHALL BE REMOVED FROM THE SITE. ALL PAVEMENTS AND WALKS MUST BE CLEAN AND WASHED OF ANY MUD OR HEAVY CONCENTRATION OF SOIL. ALL PLANTING BEDS MUST BE EDGED OR SPADED TO FORM A SMOOTH CURVILINEAR SHAPE. <p>C. FINAL INSPECTION AND ACCEPTANCE:</p> <p>UPON COMPLETION OF THE REQUIRED MAINTENANCE PERIOD, THE CONTRACTOR MUST MAKE A WRITTEN REQUEST TO THE LANDSCAPE ARCHITECT TO SCHEDULE A FINAL INSPECTION OF THE TURF AREAS. THE CONTRACTOR WILL BE REQUIRED TO MAKE THIS REQUEST A MINIMUM OF TEN (10) WORKING DAYS PRIOR TO THE INSPECTION. IF UPON INSPECTION, THE LANDSCAPE ARCHITECT FEELS THAT THE TURF AREAS ARE NOT ESTABLISHED WITHIN SPECIFICATION, THE CONTRACTOR WILL BE REQUIRED TO RE-WORK AND MAINTAIN THOSE UNACCEPTABLE AREAS UNTIL A FINAL ACCEPTANCE HAS BEEN GRANTED.</p>	<p>1.0 GENERAL</p> <p>1.01 DESCRIPTION</p> <p>A. THIS WORK SHALL CONSIST OF THE EXCAVATION, INSTALLATION, BACKFILLING, CARE AND MAINTENANCE OF LANDSCAPE PLANTINGS.</p> <p>B. THE SIZE AND GRADING STANDARDS OF PLANT MATERIALS IN THIS SPECIFICATION MUST CONFORM WITH THE "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.</p> <p>1.02 SUBMITTALS</p> <p>A. WHEN REQUIRED IN THE PLAN NOTES OR DETAILS, MATERIAL OR PRODUCT SAMPLES MUST BE SUBMITTED BY THE CONTRACTOR FOR APPROVAL BY THE LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE.</p> <p>B. THE LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE SHALL REVIEW THE MATERIALS OR PRODUCT SAMPLES SUBMITTED AND SHALL RESERVE THE RIGHT TO COMPARE THE SUBMITTED MATERIALS WITH THE MATERIALS DELIVERED TO THE PROJECT SITE. IF THE MATERIALS DELIVERED TO THE PROJECT SITE ARE NOT OF THE SAME TYPE, CONSISTENCY AND QUALITY AS THE SUBMITTED SAMPLES, THE LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE WILL HAVE THE RIGHT TO REJECT SAID PRODUCTS AND REQUIRE THE CONTRACTOR TO PROVIDE MATERIALS FROM ANOTHER SOURCE.</p> <p>1.03 PRODUCT DELIVERY, STORAGE & HANDLING</p> <p>A. STORAGE OF MATERIALS: PLANT MATERIALS WILL BE PERMITTED TO BE STORED AT THE PROJECT SITE IN LOCATION DETERMINED BY THE OWNER, BUT MUST BE PROTECTED BY THE CONTRACTOR FROM THEFT, DAMAGE OR VANDALISM. PLANT MATERIALS THAT ARE STOLEN, OR DAMAGED IN ANY WAY MUST BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER. SUPPLIES, INCLUDING BUT NOT LIMITED TO MARKING PAINT, FERTILIZER, INSECTICIDES, OR OTHER CHEMICALS MUST BE STORED OFF SITE AND TRANSPORTED TO THE SITE EACH DAY FOR USE.</p> <p>B. INSPECTIONS:</p> <ol style="list-style-type: none"> ALL PLANT MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE AT THE POINT OF GROWTH NURSERY OR THE PROJECT SITE, PRIOR TO INSTALLATION. SHOULD ANY PLANT MATERIALS BE INSTALLED PRIOR TO INSPECTION, THEN THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY FOR THEIR REPLACEMENT, INCLUDING EXCAVATION, HAULING AND NEW MATERIALS, SHOULD THEY BE FOUND TO BE UNACCEPTABLE. SHOULD ANY PLANT MATERIALS BE FOUND TO BE UNACCEPTABLE DURING THE ON-SITE INSPECTION, THEN THEY SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR, AT THEIR EXPENSE CAN ALSO ARRANGE FOR THE INSPECTION OF PLANT MATERIALS AT LOCAL POINT OF GROWTH NURSERIES, WHICH MUST BE LOCATED WITHIN A FIFTY (50) MILE RADIUS OF THE PROJECT SITE. THE CONTRACTOR MUST PRE-TAG ALL SHADE, ORNAMENTAL AND EVERGREEN TREES AND A SAMPLE OF SHRUBS AND PERENNIAL MATERIALS TO BE USED FOR THE PROJECT. THE LANDSCAPE ARCHITECT WILL REVIEW THE PRE-TAGGED PLANT MATERIALS AND MAKE A DECISION REGARDING THEIR ACCEPTABILITY FOR THE PROJECT. SHOULD ANY PRE-TAGGED PLANT MATERIALS NOT BE ACCEPTABLE, THEN THE CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING ANOTHER SAMPLES FOR REVIEW. THE CONTRACTOR MUST REQUEST THE LANDSCAPE ARCHITECT'S ATTENDANCE AT LEAST TEN (10) WORKING DAYS IN ADVANCE FOR ALL POINT OF GROWTH NURSERY INSPECTIONS. THE ENTIRE COST OF THE INSPECTIONS WILL BE BORNE AND PAID FOR THE CONTRACTOR INCLUDING ARCHITECT'S HOURLY COST OF \$150.00/HOUR, UNLESS OTHERWISE WAIVED BY THE ARCHITECT OR PAID FOR DIRECTLY BY THE OWNER. A REPRESENTATIVE OF THE CONTRACTOR MUST BE PRESENT DURING ALL PLANT MATERIAL INSPECTIONS. <p>C. DIGGING AND HANDLING OF PLANT MATERIAL</p> <ol style="list-style-type: none"> ALL SHADE TREES, ORNAMENTAL TREES AND EVERGREEN TREES MUST BE BALLED AND BURLAPPED. SHRUBS MAY BE BALLED AND BURLAPPED OR CONTAINER GROWN. PERENNIALS AND GROUNDCOVERS SHALL BE GROWN IN FLATS OR POTS. PLANT MATERIALS WITH CRACKED OR BROKEN BALLS WILL NOT BE ACCEPTED. ALL BALLED AND BURLAPPED PLANTS THAT CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY SHALL BE HEADED-IN WITH MULCH MATERIAL AND MUST BE WATERED DAILY UNTIL PLANTED. PLANT MATERIALS THAT HAVE BEEN STORED ON SITE FOR A PERIOD LONGER THAN THIRTY (30) DAYS WILL NOT BE ACCEPTED. ALL PLANT MATERIALS MUST BE DELIVERED TO THE PROJECT SITE IN COVERED TRAILERS OR PROTECTED BY A TARPS OR APPROPRIATE COVERINGS DURING TRANSIT. PLANT MATERIALS MUST BE MARKED FOR IDENTIFICATION WITH THEIR NAME OR THEIR APPROPRIATE KEY SYMBOL, WHICH CAN BE FOUND ON THE PLANT LIST. 	<p>1.03 PROTECTION</p> <p>A. ALL PLANT MATERIALS MUST BE PROTECTED BY THE CONTRACTOR FROM THEFT OR VANDALISM UNTIL THE COMPLETED PLANTING HAS RECEIVED PRELIMINARY ACCEPTANCE. ANY PLANT MATERIAL THAT IS STOLEN OR VANDALIZED WILL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.</p> <p>1.04 GUARANTEE</p> <p>A. PLANT MATERIALS MUST BE GUARANTEED TO GROW AND THRIVE FOR A PERIOD OF ONE YEAR FROM FINAL ACCEPTANCE. ANY PLANT MATERIALS THAT ARE IN DECLINE AS DETERMINED BY THE LANDSCAPE ARCHITECT, OR V.O.S. OR DIE DURING THIS GUARANTEE PERIOD MUST BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER PRIOR TO VILLAGE ACCEPTANCE OF THE PROJECT AND WILL BE GUARANTEED FOR AN ADDITIONAL ONE (1) YEAR PERIOD.</p> <p>B. THE CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO TURF OR PAVEMENTS CAUSED BY PLANT MATERIAL REPLACEMENT.</p> <p>2.0 PRODUCTS AND MATERIALS</p> <p>A. WATER: THE CONTRACTOR WILL BE REQUIRED TO SUPPLY WATER INCLUDING ALL METERS, HOSES AND CONNECTIONS, ETC. NECESSARY TO WATER THE LANDSCAPE PLANTINGS.</p> <p>B. PEAT MOSS OR HUMUS: COMMERCIAL TYPE SPHAGNUM PEAT MOSS.</p> <p>C. FERTILIZER: AGRIFORM TABLETS BY THE SCOTTS COMPANY, L.L.C. WITH THE FOLLOWING ANALYSIS:</p> <table border="1" data-bbox="1556 694 1892 735"> <tr> <td>NITROGEN</td> <td>20%</td> </tr> <tr> <td>PHOSPHORIC ACID</td> <td>10%</td> </tr> <tr> <td>POTASH</td> <td>5%</td> </tr> </table> <p>D. MULCH: A DOUBLE SHREDDED HARDWOOD BARK MUCH MATERIAL SHALL BE USED. SUBMIT SAMPLE TO THE LANDSCAPE ARCHITECT FOR APPROVAL.</p> <p>E. TOPSOIL: TOPSOIL REQUIRED FOR PLANTING MIXTURE MUST BE PULVERIZED, CLEAN SOIL, FREE OF WEEDS, ROOTS, STALKS, AND OTHER DEBRIS. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL.</p> <p>F. PLANTING MIXTURE: PLANTING MIX SOIL SHALL CONSIST OF TOPSOIL, TOPPED WITH THREE (3) INCH LAYER OF ONE STEP SOIL CONDITIONER WITH MYCORRHIZAE AS PRODUCED BY MIDWEST TRADING HORTICULTURAL SUPPLIES, INC. TILL IN THREE (3) INCH LAYER OF ONE STEP SOIL CONDITIONER TO A DEPTH OF TWELVE (12) INCHES WITHIN TOPSOIL FILL. FERTILIZER TABLETS SHALL BE INCLUDED IN THE INSTALLATION IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.</p> <p>G. PLANT MATERIALS: ALL PLANT MATERIALS USED FOR THE PROJECT MUST BE NURSERY GROWN AT A LOCATION WITHIN A FIFTY (50) MILE RADIUS OF THE PROJECT SITE.</p> <ol style="list-style-type: none"> ALL PLANT MATERIALS USED FOR THIS PROJECT MUST BE FRESHLY DUG OR CONTAINER GROWN. ALL PLANT MATERIALS MUST HAVE A TYPICAL GROWTH HABIT, BE APPROPRIATELY BRANCHED AND DENSELY FOLIATED AND SHALL BE DISEASE AND PEST FREE. ALL PLANTS MUST CONFORM TO THE SIZES CONTAINED ON THE PLANT LIST AND THE REQUIREMENTS SET FORTH IN THE AMERICAN STANDARD FOR NURSERY STOCK. PLANT MATERIAL SUBSTITUTIONS MAY ONLY BE MADE WITH THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR MUST SUBMIT ALL REQUESTS FOR PLANT MATERIAL SUBSTITUTIONS IN WRITING TO THE LANDSCAPE ARCHITECT. PRE-EMERGENCE HERBICIDE: SHALL BE A GRANULAR FORM OF PREEN GARDEN WEED PREVENTER. THIS GRANULAR WEED PREVENTER WILL BE APPLIED AFTER MULCH INSTALLATION IN ALL PLANTING BEDS AT A RATE OF ONE (1) OUNCE PER TEN (10) SQUARE FEET. IMMEDIATELY WATER IN AFTER INSTALLATION. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS. <p>3.0 EXECUTION</p> <p>A. PLANT MATERIAL LAYOUT AND LOCATION:</p> <ol style="list-style-type: none"> PRIOR TO ANY INSTALLATION, THE CONTRACTOR MUST LOCATE ALL PLANT MATERIALS USING WOODEN LATHE OR FLAGS. THE LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE WILL REVIEW AND APPROVE PLANT MATERIAL LOCATIONS. THE CONTRACTOR MUST UTILIZE J.U.L.I.E. THE LOCAL MUNICIPALITY OR THE OWNER'S REPRESENTATIVE TO LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATION. <p>B. PLANTING HOLE EXCAVATION:</p> <ol style="list-style-type: none"> THE CONTRACTOR MUST EXCAVATE AS NECESSARY FOR INSTALLATION OF PLANT MATERIALS. ALL ROCK, BROKEN CONCRETE AND SIMILAR DEBRIS MUST BE REMOVED FROM PLANTING HOLES AND HAULED FROM THE SITE AT NO ADDITIONAL EXPENSE TO THE OWNER. ALL EXCESS SOILS GENERATED FROM PLANTING OPERATIONS MUST BE HAULED FROM THE SITE AT NO ADDITIONAL EXPENSE TO THE OWNER. 	NITROGEN	20%	PHOSPHORIC ACID	10%	POTASH	5%	<p>3.01 INSTALLATION</p> <p>A. PLANTING SEASONS:</p> <ol style="list-style-type: none"> DECIDUOUS PLANTS MUST BE PLANTED DURING THE FOLLOWING DATES: APRIL 1ST TO JUNE 1ST AND OCTOBER 1ST TO DECEMBER 15TH. EVERGREEN PLANTS MUST BE PLANTED DURING THE FOLLOWING DATES: APRIL 1ST TO MAY 15TH AND SEPTEMBER 1ST TO OCTOBER 1ST THE PLANTING PERIODS INDICATED MAY BE EXTENDED DUE TO WEATHER CONDITIONS OR OTHER FACTORS, WHICH MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR WILL BE RELIEVED FOR HIS GUARANTEE RESPONSIBILITY SHOULD THE OWNER REQUIRE PLANT MATERIAL INSTALLATIONS TO BE COMPLETED DURING OTHER TIMES THAN THE PLANTING PERIODS INDICATED. <p>B. PLANTING:</p> <ol style="list-style-type: none"> ALL SHADE TREES, ORNAMENTAL TREES, EVERGREEN TREES, SHRUBS AND PERENNIALS SHALL BE PLANTED IN HOLES EXCAVATED AT LEAST TWICE THE WIDTH OF THE DIAMETER OF THE BALL OR CONTAINER AND DEEP ENOUGH SO THAT THE TOP OF THE BALL OR SOIL IN THE CONTAINER IS AT OR JUST ABOVE EXISTING GRADE. INSTALL AGRIFORM FERTILIZER TABLETS IN EXCAVATED HOLES AFTER FILLING HALF WAY UP THE ROOT BALL. FOLLOW MANUFACTURER'S APPLICATION RATES. ALL TWINE OR ROPE MUST BE CUT AND REMOVED AND THE BURLAP FOLDED AWAY FROM THE TOP OF THE BALL. THE EXCAVATION MUST BE BACKFILLED WITH THE PLANTING MIXTURE AND WATERED. ANY SETTLEMENT WILL BE FILLED WITH PLANTING MIXTURE. A 4" DEEP SAUCER, SIMILAR TO THE DIAMETER OF THE PLANTING HOLE SHALL BE CREATED USING PLANTING MIX. GROUNDCOVERS: ALL PERENNIAL AND GROUNDCOVER BEDS SHALL BE FILLED TO A DEPTH OF SIX (6) INCHES. THREE (3) INCHES OF MUSHROOM OR SIMILAR COMPOST MUST THEN BE TILLED INTO THE SOIL AND THE PLANTING BED RAKED SMOOTH PRIOR TO PLANTING. <p>C. PRUNING:</p> <ol style="list-style-type: none"> ALL TREES AND SHRUBS SHALL BE PRUNED TO ENHANCE THE NATURAL CHARACTER OF THE PLANT, AND TO REMOVE ANY BROKEN OR DAMAGED BRANCHES. <p>D. MULCHING:</p> <ol style="list-style-type: none"> ALL SHADE TREES, ORNAMENTAL TREES, AND EVERGREEN TREES SHALL BE MULCHED. THE MULCH SHALL COVER THE PLANTING AREA WITH A MINIMUM OF THREE (3) INCHES AND NOT MORE THAN FOUR (4) INCHES IN DEPTH. NO MULCH MATERIAL MAY COVER THE TRUNK OR PLANT STEM. ALL MASSES PLANTINGS WILL BE MULCHED WITH A MINIMUM OF THREE (3) INCHES AND NOT MORE THAN FOUR (4) INCHES OF MULCH. THE ENTIRE BED SHALL BE MULCHED UNDER THE PLANTS. A SPADED EDGE MUST BE PRODUCED IN THE BED SHAPE AS INDICATED ON THE PLANS. GROUNDCOVER AREAS WILL NOT RECEIVE ANY MULCH. <p>E. PRE-EMERGENCE HERBICIDE APPLICATION:</p> <ol style="list-style-type: none"> GRANULAR WEED PREVENTER WILL BE APPLIED AFTER MULCH INSTALLATION IN ALL PLANTING BEDS AT A RATE OF ONE (1) OUNCE PER TEN (10) SQUARE FEET. IMMEDIATELY WATER IN AFTER INSTALLATION. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS. <p>F. WRAPPING, STAKING & GUYING:</p> <ol style="list-style-type: none"> ALL SHADE AND SINGLE STEM ORNAMENTAL TREES MUST BE WRAPPED WITH BURLAP OR AN APPROVED TREE WRAP FROM THE BASED OF THE TREE TO THE START OF THE FIRST BRANCHES. EVERGREEN TREES 6" HIGH AND LARGER MUST BE STAKED AND GUYED. DECIDUOUS TREES 4" CALIPER AND LARGER MUST STAKED AND GUYED. WHEN REQUIRED, A THREE-POINT GUYING SYSTEM SHALL BE USED CONSISTING OF GALVANIZED WIRES, HOSE LOOPS, TURN BUCKLES AND WOODEN STAKES. OTHER COMMERCIAL STAKING AND GUYING SYSTEMS MAY BE USED IF PRESENTED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT. ALL GUY WIRES MUST HAVE HIGH VISIBILITY ORANGE FLAGGING AND ALL STAKES MUST BE PAINTED WITH HIGH VISIBILITY ORANGE PAINT. 	<p>3.02 MAINTENANCE, CLEAN-UP AND ACCEPTANCE</p> <p>A. MAINTENANCE OF PLANT MATERIALS:</p> <ol style="list-style-type: none"> MAINTENANCE OF PLANT MATERIALS WILL BEGIN UPON COMPLETION OF THE INSTALLATION OF THE LAST PLANT MATERIAL AND WILL CONTINUE FOR A PERIOD OF SIXTY (60) DAYS. MAINTENANCE PERIODS THAT HAVE NOT BEEN COMPLETED BY NOVEMBER 1ST, WILL BE COMPLETED THE FOLLOWING YEAR, BEGINNING ON MAY 1ST. DURING THE MAINTENANCE PERIOD, THE CONTRACTOR MUST WATER AND STRAIGHTEN ALL PLANTS, AS WELL AS WEED PLANTING BEDS AND TREE RINGS. THE OWNER WILL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIREMENTS AFTER THIS REQUIRED SIXTY (60) DAY PERIOD. <p>B. CLEAN UP:</p> <ol style="list-style-type: none"> ALL DEBRIS GENERATED DURING THE INSTALLATION OF PLANT MATERIALS MUST BE REMOVED FROM THE SITE. ALL PAVEMENTS AND WALKS MUST BE SWEEPED AFTER EACH DAYS WORK. UPON COMPLETION OF THE WORK, ALL PAVEMENTS MUST BE WASHED TO REMOVAL MUD OR DIRT. <p>C. PRELIMINARY ACCEPTANCE:</p> <ol style="list-style-type: none"> UPON COMPLETION OF THE INSTALLATION OF ALL PLANT MATERIALS, THE CONTRACTOR MUST SUBMIT HIS REQUEST FOR AN INSPECTION TO DETERMINE PRELIMINARY ACCEPTANCE OF THE COMPLETED WORK. ALL SUCH REQUESTS MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT AT LEAST 10 (TEN) DAYS IN ADVANCE. <p>G. FINAL ACCEPTANCE:</p> <ol style="list-style-type: none"> UPON COMPLETION OF THE MAINTENANCE PERIOD THE CONTRACTOR MUST SUBMIT HIS REQUEST FOR FINAL ACCEPTANCE OF THE COMPLETED WORK. ALL SUCH REQUESTS MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT AT LEAST 10 (TEN) DAYS IN ADVANCE. THE LANDSCAPE ARCHITECT WILL REVIEW THE WORK AND DETERMINE WHETHER THE WORK SHOULD RECEIVE FINAL ACCEPTANCE. SHOULD THE LANDSCAPE ARCHITECT FIND CONDITIONS THAT ARE NOT ACCEPTABLE, THE CONTRACTOR WILL BE NOTIFIED IN WRITING AND WILL BE REQUIRED TO MAKE CHANGES TO CORRECT THE UNACCEPTABLE CONDITION. THE V.O.S. SHALL CONDUCT A FINAL INSPECTION. ALL WORK SHALL BE COMPLETED ACCORDING TO THE APPROVED PLAN PRIOR TO FINAL ACCEPTANCE.
PRIOR TO SEEDING 10-18-18 WITH 30% NUTRALENE																											
NITROGEN	10%																										
PHOSPHORIC ACID	18%																										
POTASH	18%																										
AFTER SEEDING 18-5-9																											
NITROGEN	18%																										
PHOSPHORIC ACID	05%																										
POTASH	09%																										
NITROGEN	20%																										
PHOSPHORIC ACID	10%																										
POTASH	5%																										

PUD FINAL PLAN SET

WT GROUP
 Engineering with Precision, Pace and Passion.
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Signature: *Christian Kalischefski*
 Expires: November 30, 2019

SCOOTERS RESTAURANT
 12610 ROCKLAND ROAD
 LAKE BLUFF, IL 60044



ISSUE

TO	DATE
PERMIT	05-25-18
ZONING/	
PERMIT	07-18-18
ZONING	08-14-18
PERMIT	09-24-18
COMMENTS	
PUD FINAL	11-21-18

CHECK: JI,CK
 DRAWN: CP,KM
 JOB:D18011

A008
 LANDSCAPE SPECIFICATIONS