

LAKE COUNTY ZONING NOTICE RZON-001126-2025

Grant Township

The Lake County Zoning Board of Appeals has scheduled a public hearing at 1:00 PM on Tuesday November 18, 2025, at the Fox Lake District Library 255 East Grand Avenue Fox Lake, IL on the petition of Justen Realty, Inc., record owner, who seeks the following:

Rezoning of two parcels from Limited Commercial (LC) to Residential-3 (R3) to allow for the construction of one single-family home on each parcel.

Please note that quantitative values may be subject to minor alterations due to the conditions surveyed. The subject properties are located at 36909 and 36895 N Stanton Pt. Rd. Fox Lake, IL 60041 and is approximately 0.34 acres.

Jason Justen is the sole director and officer of Justen Realty Inc., 166 Cherry Ln Ingleside, IL. Jason Justen, also of 166 Cherry Ln Ingleside, IL, is the sole shareholder of Justen Realty, Inc. with ownership of one hundred percent of the issued and outstanding shares.

PIN:0511204002, 0511204056

This application is available for public examination online at <https://www.lakecountyil.gov/calendar.aspx?EID=12671> or at the office of the Lake County Zoning Board of Appeals, 500 W. Winchester Rd, Libertyville, Illinois, Attn: Thomas Chefalo, Project Manager 847-377-2120

Gregory Koeppen
Chair

LAKE COUNTY ZONING BOARD OF APPEALS

REZONING APPLICATION

Applicant(s): Justen Realty, Inc.
(please print) Owner(s)

Subject Property: Present Zoning: LC Limited Commercial
Present Use: Vacant
Proposed Use: Residential Two Single Family Homes
PIN(s): the south half of 05-11-204-001*, 05-11-204-002
Address: 36909-36895 N. Stanton Point Rd.
Ingleside, IL 60041

Legal description:
(~~X~~ see deed) See Exhibit "A"
*New Pin for 2026 will be 05-11-204-056

Request: I/we request the property be rezoned to the R-3 Residential
district.

I/we believe this rezoning is justified because:

Applicant requests a change in zoning to R-3 Residential because it is a better fit for the community, the surrounding properties are residential. Please see the Narrative attached as Exhibit B for further information.

PLEASE SEE APPLICANT'S NARRATIVE ATTACHED HERETO AS EXHIBIT "B" AND MADE A PART THEREOF.

Approval Criteria

The Lake County Zoning Board of Appeals is required to make findings of fact on your request. You should "make your case" by explaining specifically how your proposed request relates to each of the following criteria:

1. The proposed rezoning is consistent with the stated purpose and intent of the zoning regulations (Lake County Code Section 151.005);

PLEASE SEE APPLICANT'S NARRATIVE ATTACHED HERETO AS EXHIBIT "B" AND MADE A PART THEREOF.

2. The proposed rezoning corrects an error or inconsistency or meets the challenge of

some changing condition in the area;

PLEASE SEE APPLICANT'S NARRATIVE ATTACHED HERETO AS EXHIBIT "B"
AND MADE A PART THEREOF.

3. The proposed rezoning will allow development that is compatible with existing uses and zoning of nearby property;

PLEASE SEE APPLICANT'S NARRATIVE ATTACHED HERETO AS EXHIBIT "B"
AND MADE A PART THEREOF.

4. The County and other service providers will be able to provide adequate public facilities and services to the property, while maintaining adequate levels of service to existing development;

PLEASE SEE APPLICANT'S NARRATIVE ATTACHED HERETO AS EXHIBIT "B"
AND MADE A PART THEREOF.

5. The proposed rezoning will not result in significant adverse impacts on other property in the vicinity of the subject tract or on the environment, including air, water, noise, stormwater management, wildlife and natural resources; and

PLEASE SEE APPLICANT'S NARRATIVE ATTACHED HERETO AS EXHIBIT "B"
AND MADE A PART THEREOF.

6. The subject property is suitable for the proposed zoning classification.

PLEASE SEE APPLICANT'S NARRATIVE ATTACHED HERETO AS EXHIBIT "B"
AND MADE A PART THEREOF.

APPLICANT INFORMATION

Owner (include all fee owners listed on deed):	Authorized Agent: I/we hereby authorize this person to represent me/us in all matters related to this application:
Name: Justen Realty Inc.	Name: James Babowice
Address: 166 Cherry Lane, Ingleside	Address: 2 S. Whitney Street, Grayslake
State/Zip: IL 60041	State/Zip: IL 60030
Daytime Phone: [REDACTED]	Daytime Phone: 847-223-1500
Email: [REDACTED]	Email: jbabowice@grayslakelaw.com

Applicant (if other than owner):	Contract Purchaser (if any):
Name: _____	Name: _____
Address: _____	Address: _____
State/Zip: _____	State/Zip: _____
Daytime Phone: _____	Daytime Phone: _____
Email: _____	Email: _____

I/We hereby attest that all information given above is true and complete to the best of my/our knowledge. Justen Realty, Inc.

By: Owner's Signature, Jason Justen, President

Owner's Signature

Signature(s) of contract purchasers (If applicable)

I, [REDACTED] a Notary Public aforesaid, do hereby certify that Jason Justen personally known to me is (are) the person(s) who executed the foregoing instrument bearing the date of July 11, 2025 and appeared before me this day in person and acknowledged that he/she/they signed, sealed and delivered the same instrument for the uses and purposes therein set forth.

Given under my hand and Notarial Seal this 11th day of July, 2025.

(Seal)

My Commission expires

April 12, 2027



COURT REPORTER AGREEMENT

CHECK ONE OF THE FOLLOWING:



I authorize the County to act on my behalf to retain a Certified Shorthand Reporter to transcribe the public hearing and provide a transcript to the Zoning Board of Appeals. I further agree to pay the Reporter reasonable fees for his/her services. If I do not pay the Reporter and the County is invoiced and pays the Reporter, I agree to reimburse the County. If the County sues to obtain reimbursement, I agree to pay the County its reasonable attorney's fees in bringing suit and obtaining a judgment.



I will furnish a Certified Shorthand Reporter to transcribe the public hearing and provide a transcript to the Zoning Board of Appeals. I realize that the failure to do so may result in the continuation of the public hearing in which case I agree to reimburse the County for all additional expenses caused by such continuation.

Just

By:

Signature, Jason Justen, President

Billing Contact Information:

Jason Justen

Print Name

Phone Number

THIS SIGNED AGREEMENT MUST ACCOMPANY YOUR APPLICATION

Disclosure Statement

Justen Realty Inc.

The undersigned is the sole shareholder, sole director and sole officer of Justen Realty, Inc., an Illinois corporation (the "Corporation"). The undersigned owns one hundred percent (100%) of the issued and outstanding shares of the Corporation. The address of the Corporation and of the undersigned is 166 Cherry Lane, Ingleside, Illinois 60041.

Date: July 8, 2025

Justen Realty Inc.

By:

Jason Justen, President

REZONING (MAP AMENDMENT) APPLICATION EXHIBIT LIST

36909 -36895 N. Stanton Point Road, Ingleside, IL 60041

Exhibit "A": Warranty Deed

Exhibit "B": Narrative

Schedule 1: Photographs of Property

Exhibit "C": Plat of Survey

Exhibit "D": Lake County Aerial Map

Exhibit "F": Lake County Tax Parcel Map

Exhibit "F" : Site Plan

Exhibit "G" : Building Plans

REZONING APPLICATION

36909 -36895 N. Stanton Point Road, Ingleside, IL 60041

EXHIBIT A

WARRANTY DEED

TRUSTEE'S DEED

This indenture made this 7th day of March, 2023 between CHICAGO TITLE LAND TRUST COMPANY, a corporation of Illinois, as Trustee, under the provisions of a deed or deeds in trust, duly recorded and delivered to said company in pursuance of a trust agreement dated the 26th day of October, 2011 and known as Trust Number 8002358179, party of the first part, and

Type: DTR
Recorded: 3/16/2023 10:23:55 AM
Fee Amt: \$510.00 Page 1 of 4
Receipt#: 202300010612
IL Rental Housing Fund: \$9.00
State Stamp Fee: \$300.00
County Stamp Fee: \$150.00
Lake County IL
Anthony Vega Lake County Clerk

File# 7963580

Justen Realty, Inc.
party of the second part,

whose address is :
166 Cherry Lane
Ingleside IL 60041

REAL ESTATE TRANSFER TAX

County:	\$150.00
Illinois:	\$300.00
Total:	\$450.00

Stamp No:	0-825-705-472
Declaration ID:	20230001969382
Instrument No:	7963580
Date:	15-Mar-2023

WITNESSETH, That said party of the first part, in consideration of the sum of TEN and no/100 DOLLARS (\$10.00) AND OTHER GOOD AND VALUABLE considerations in hand paid, does hereby CONVEY AND QUITCLAIM unto said party of the second part, the following described real estate, situated in Lake County, Illinois, to wit:

SEE LEGAL DESCRIPTION ATTACHED HERETO AND INCORPORATED HEREIN

Property Address: 36909, 36932, and 36930 North Stanton Point Road, Ingleside Illinois 60041

Permanent Tax Number: 05-11-204-001; 05-11-201-005; 05-11-200-001

together with the tenements and appurtenances thereunto belonging.

TO HAVE AND TO HOLD the same unto said party of the second part, and to the proper use, benefit and behoove forever of said party of the second part.

This deed is executed pursuant to and in the exercise of the power and authority granted to and vested in said trustee by the terms of said deed or deeds in trust delivered to said trustee in pursuance of the trust agreement above mentioned. This deed is made subject to the lien of every trust deed or mortgage (if any there be) of record in said county given to secure the payment of money, and remaining unreleased at the date of the delivery hereof.

PRAIRIE TITLE
6821 W. NORTH AVE.
OAK PARK, IL 60302

IN WITNESS WHEREOF, said party of the first part has caused its corporate seal to be hereto affixed, and has caused its name to be signed to these presents by its Assistant Vice President, the day and year first above written.



CHICAGO TITLE LAND TRUST COMPANY,
as Trustee as Aforesaid

By: _____

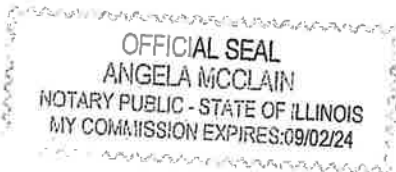
Patricia K. Holtry Assistant Vice President

State of Illinois
County of Cook

SS.

I, the undersigned, a Notary Public in and for the County and State aforesaid, do hereby certify that the above named Assistant Vice President of **CHICAGO TITLE LAND TRUST COMPANY**, personally known to me to be the same person whose name is subscribed to the foregoing instrument as such Assistant Vice President appeared before me this day in person and acknowledged that he/she signed and delivered the said instrument as his/her own free and voluntary act and as the free and voluntary act of the Company; and the said Assistant Vice President then and there caused the corporate seal of said Company to be affixed to said instrument as his/her own free and voluntary act and as the free and voluntary act of the Company.

Given under my hand and Notarial Seal this 7th day of March, 2023.



NOTARY PUBLIC

This instrument was prepared by:
Patricia K. Holtry
CHICAGO TITLE LAND TRUST COMPANY
1100 Lake Street Suite 100C
Oak Park IL 60301

AFTER RECORDING, PLEASE MAIL TO:

NAME: M. Berresheim

ADDRESS: Two South Whitney

CITY STATE ZIP: Graylake IL 60030

SEND SUBSEQUENT TAX BILLS TO:

NAME: Justen Realty Inc

ADDRESS: 166 Cherry Ln

CITY STATE ZIP: Ingleside IL 60041

LEGAL DESCRIPTION

PARCEL 1:

LOT 1 AND LOT 2 IN THOMAS STANTON'S SUBDIVISION OF PART OF SECTION 11, TOWNSHIP 45 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 13, 1902 AS DOCUMENT NUMBER 85290, IN BOOK "E" OF PLATS, PAGE 73, IN LAKE COUNTY, ILLINOIS.

PARCEL 2:

LOT 11 IN INGLECTREST SUBDIVISION OF PART OF FRACTIONAL SECTIONS 2 AND 11, TOWNSHIP 45 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 15, 1920 AS DOCUMENT NUMBER 193559, IN BOOK "K" OF PLATS, PAGE 40, IN LAKE COUNTY, ILLINOIS.

PARCEL 3:

THAT PART OF THE NORTHEAST 1/4 OF SECTION 11, TOWNSHIP 45 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT WHICH IS SOUTH 60 DEGREES WEST 43 FEET FROM THE NORTHWEST CORNER OF LOT 1 OF THOMAS STANTON'S SUBDIVISION OF PART OF SAID SECTION 11 AND RECORDED IN BOOK "E" OF PLATS, PAGE 73; RUNNING THENCE NORTH 31 DEGREES WEST 126.06 FEET; THENCE NORTH 40 DEGREES 32 MINUTES EAST ALONG A MEANDERED LINE OF FOX LAKE, 100 FEET TO THE WESTERLY LINE OF A 22 FOOT ROADWAY; THENCE SOUTH 31 DEGREES EAST ALONG THE WESTERLY LINE OF SAID ROADWAY 68 FEET TO THE NORTHWESTERLY LINE OF SAID 20 FOOT RIGHT-OF-WAY; THENCE SOUTH 15 DEGREES 32 MINUTES WEST ALONG THE NORTHWESTERLY LINE OF SAID 20 FOOT RIGHT-OF-WAY, 130.5 FEET TO THE POINT OF BEGINNING, IN LAKE COUNTY, ILLINOIS.

PARCEL 4:

THAT PART OF THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 45 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT WHICH IS SOUTH 60 DEGREES WEST 43 FEET FROM THE NORTHWEST CORNER OF LOT 1 OF THOMAS STANTON'S SUBDIVISION OF PART OF SAID SECTION 11 AND RECORDED IN BOOK "E" OF PLATS, PAGE 73; RUNNING THENCE NORTH 31 DEGREES WEST 126.06 FEET TO THE POINT OF BEGINNING; THENCE NORTH 40 DEGREES 32 MINUTES EAST ALONG A MEANDERED LINE OF FOX LAKE, 100 FEET TO THE WESTERLY LINE OF A 22 FOOT ROADWAY; THENCE NORTH 31 DEGREES WEST ALONG THE WESTERLY LINE OF SAID ROADWAY TO THE NORMAL LOW WATER MARK OF FOX LAKE; THENCE SOUTHWESTERLY ALONG SAID NORMAL LOW WATER MARK OF FOX LAKE TO A POINT NORTH 31 DEGREES WEST OF THE POINT OF BEGINNING; THENCE SOUTH 31 DEGREES EAST TO THE POINT OF BEGINNING, IN LAKE COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 36909, 36932, and 36930 N. Stanton Point Road, Ingleside, IL 60041

PERMANENT INDEX NUMBERS: 05-11-204-001; 05-11-201-005; 05-11-200-001



Anthony Vega
Lake County Clerk

Plat Act Affidavit

LAKE COUNTY CLERK'S OFFICE
RECORDING DIVISION
18 N COUNTY ST - 6TH FLOOR
WAUKEGAN, IL 60085-4358
(847) 377-2575
FAX: (847) 984-5860

STATE OF ILLINOIS

COUNTY OF LAKE

} SS

I, (name) Jon Williams, being duly sworn on oath, state that I reside at 38324 N. 8th St. , Spring Grove, IL 60081, and that the attached deed is not in violation of the Plat Act, Ch. 765 ILCS 205/1.1(b), as the provisions of this Act do not apply and no plat is required due to the following allowed exception (Circle the number applicable to the attached deed):

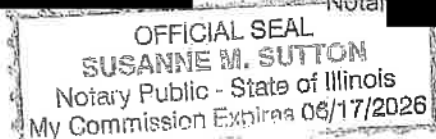
1. The division or subdivision of land into parcels or tracts of 5 acres or more in size which does not involve any new streets or easements of access;
2. The division of lots or blocks of less than 1 acre in any recorded subdivision which does not involve any new streets or easements of access;
3. The sale or exchange of parcels of land between owners of adjoining and contiguous land;
4. The conveyance of parcels of land or interests therein for use as a right of way for railroads or other public utility facilities and other pipelines which does not involve any new streets or easements of access;
5. The conveyance of land owned by a railroad or other public utility which does not involve any new streets or easements of access;
6. The conveyance of land for highway or other public purposes or grants or conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use;
7. Conveyances made to correct descriptions in prior conveyances;
8. The sale or exchange of parcels or tracts of land following the division into no more than 2 parts of a particular parcel or tract of land existing on July 17, 1959, and not involving any new streets or easements of access;
9. The sale of a single lot of less than 5 acres from a larger tract when a survey is made by an Illinois Registered Land Surveyor; provided, that this exemption shall not apply to the sale of any subsequent lots from the same larger tract of land, as determined by the dimensions and configuration of the larger tract on October 1, 1973, and provided also that this exemption does not invalidate any local requirements applicable to the subdivision of land;
10. The conveyance of land does not involve any land division and is described in the same manner as title was taken by grantor(s).

AFFIANT further states that this affidavit is made for the purpose of inducing the COUNTY CLERK OF LAKE COUNTY, ILLINOIS to accept the attached deed for recording. (This affidavit is not applicable to Facsimile Assignment of Beneficial Interest.)

SUBSCRIBED and SWORN to before me this 6th day
of March, 2023

(Signature)

(seal)



223/973 ①
WARRANTY DEED
ILLINOIS STATUTORY
INDIVIDUAL TO CORPORATION

Type: DW
Recorded: 3/16/2023 10:23:55 AM
Fee Amt: \$135.00 Page 1 of 3
Receipt#: 202300010612
IL Rental Housing Fund: \$9.00
State Stamp Fee: \$50.00
County Stamp Fee: \$25.00
Lake County IL
Anthony Vega Lake County Clerk

File# 7963579

REAL ESTATE TRANSFER TAX

County:	\$25.00
Illinois:	\$50.00
Total:	\$75.00

Stamp No:	1-362-666-384
Declaration ID:	20230304969509
Instrument No:	7963579
Date:	16-Mar-2023

MAIL TO:

Mary Lee Berresheim
Two South Whitney
Grayslake, IL, 60030

GRANTOR(S), Jon Williams, a single man of the City of Ingleside, County of Lake, and State of Illinois, for and in consideration of TEN and 00/100 Dollars (\$10.00), and other good and valuable consideration, the receipt and sufficiency is hereby acknowledged, CONVEY(S) and WARRANT(S) to the GRANTEE(S), Justen Realty, Inc., an Illinois Corporation, of 166 Cherry Lane, City of Ingleside, County of Lake, State of Illinois, the following described real estate situated in the County of Cook, State of Illinois to-wit:

SEE ATTACHED FOR LEGAL DESCRIPTION

SUBJECT TO: General and special real estate taxes which are not yet due and payable; conditions, covenants and restrictions of record; building lines and easements, if any, so long as they do not interfere with the current use and enjoyment of the property, hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

THIS IS NOT HOMESTEAD PROPERTY.

TO HAVE AND TO HOLD said premises forever.

Permanent Index Number: 05-11-204-002

Property Address: 36895 Stanton Point Road, Ingleside, IL 60041

PRAIRIE TITLE
6821 W. NORTH AVE
OAK PARK, IL 60277

SIGNATURE PAGE TO FOLLOW

233/973 ①

**WARRANTY DEED
ILLINOIS STATUTORY
INDIVIDUAL TO CORPORATION**

MAIL TO:

Mary Lee Berresheim
Two South Whitney
Grayslake, IL, 60030

GRANTOR(S), **Jon Williams**, a single man of the City of Ingleside, County of Lake, and State of Illinois, for and in consideration of TEN and 00/100 Dollars (\$10.00), and other good and valuable consideration, the receipt and sufficiency is hereby acknowledged, CONVEY(S) and WARRANT(S) to the GRANTEE(S), **Justen Realty, Inc.**, an Illinois Corporation, of 166 Cherry Lane, City of Ingleside, County of Lake, State of Illinois, the following described real estate situated in the County of Cook, State of Illinois to-wit:

SEE ATTACHED FOR LEGAL DESCRIPTION

SUBJECT TO: General and special real estate taxes which are not yet due and payable; conditions, covenants and restrictions of record; building lines and easements, if any, so long as they do not interfere with the current use and enjoyment of the property, hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

THIS IS NOT HOMESTEAD PROPERTY.

TO HAVE AND TO HOLD said premises forever.

Permanent Index Number: 05-11-204-002

Property Address: 36895 Stanton Point Road, Ingleside, IL 60041

PRAIRIE TITLE
6821 W. NORTH AVE
OAK PARK, IL 60301

SIGNATURE PAGE TO FOLLOW

DATED this 6th day of March, 2023.

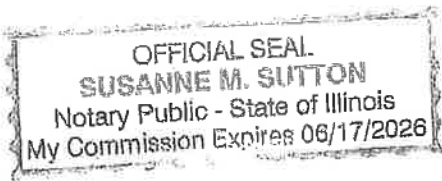
[REDACTED]

(Grantor) Jon Williams

STATE OF ILLINOIS)
) SS.
COUNTY OF COOK)

I, the undersigned, a Notary Public in and for said County in the State aforesaid DO HEREBY CERTIFY that the above named person(s) personally known to me to be the same person(s) whose name(s) is/are subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that he/she/they signed sealed and delivered said instrument as his/her/their free and voluntary act for the uses and purposes herein set forth.

Given under my hand and official seal this 6th day of March, 2023.



[REDACTED]
(SEAL)

This document prepared by:

John M. Kennelly, of Counsel
Spina, McGuire & Okal, P.C.
7610 North Ave.
Elmwood Park IL 60707

Send future tax bills to:

Justen Realty, Inc.
166 Cherry Lane
Ingleside, IL 60041

LEGAL DESCRIPTION

Lot 3 in Thomas Stanton's subdivision of part of Section 11, Township 45 North, Range 9, East of the Third Principal Meridian, according to the Plat thereof recorded March 13, 1902 as Document Number 85290, in Book "E" of Plats, Page 73, in Lake County, Illinois.

PIN: 05-11-204-002

COMMONLY KNOWN AS: 36895 Stanton Point Road, Ingleside, IL 60041

REZONING APPLICATION
36909 -36895 N. Stanton Point Road, Ingleside, IL 60041

EXHIBIT B
NARRATIVE

EXHIBIT “B’

NARRATIVE TO REZONING (“MAP AMENDMENT”)APPLICATION

A. Historical Background and Necessity of Rezoning

Applicant Justen Realty Inc., an Illinois corporation, is the legal owner of vacant lots at 36909 and 36895 N. Stanton Road, Ingleside, Illinois 60041 identified as Lots 2 and 3 in Thomas Stanton’s Subdivision (collectively the “**Property**”). Copies of the **Deeds** are attached as **Exhibit A** to the Application. A copy of the Plat of **Survey and Topographic Survey** for the Property are attached as **Exhibit C** to the Application. The Property is zoned LC Limited Commercial.

Lot 2 is vacant (“**Lot 2**”) and Lot 3 is vacant except for a garage (“**Lot 3**”). (Lots 2 and 3 are sometimes hereinafter referred to as the “**Vacant Parcels**”). The Property is near the Fox Lake. The surrounding properties to the east, south and west are residential and are zoned R-2 and R-3 Residential. The properties to the north are zoned LC Limited Commercial. The **Lake County Aerial and Tax Parcel maps** are attached as **Exhibits D** and **E** to the Application.

Applicant acquired the property in 2023. Applicant understands that Lots 2 and 3 previously contained houses. The Lake County Public Works Dept. noted in the County’s Early Assistance Summary that structures existed on both parcels and each parcel was connected to Lake County Public Works sewer. The pre-existing lots are part of the Thomas Stanton Subdivision. These lots are legal non-conforming lots 50 feet in width. The other lots in this subdivision are improved with residences on 50 foot wide lots.

Jason Justen is the sole shareholder of the Applicant corporation. Mr. Justen also owns several other businesses in Lake County. Applicant seeks to improve the Vacant Parcels with two long term rental single family homes with attached garage as shown on the Applicant’s Proposed **Site Plan** attached to the Application as **Exhibit F**.

Applicant has experience with owning rental properties in Lake County. Applicant partners with a management company, Jergensen Enterprise Property Management as well as professional cleaning and landscaping crews to maintain a clean and welcome environment for renters as well as the surrounding neighbors and community.

B. Description of Rezoning Requested

1. Applicant seeks Rezoning Approval (Map Amendment) with respect to the Vacant Parcels to change the zoning from LC Limited Commercial to R-3 Residential. Petitioner seeks approval to allow two newly constructed homes on Lots 2 and 3 to be leased for long term rentals of one

year or more. The existing garage on Lot 3 will be removed. The plans, specifications and building elevations for the proposed building improvements (the “Plans”) on Lots 2 and 3 are attached hereto as **Exhibit G** and made a part hereof.

2. Applicant requests concurrent approval of its Site Plan per Section 151.070 (B)(2).

C. Approval Criteria for Rezoning:

1. The proposed rezoning is consistent with the stated purpose and intent of the zoning regulations (Lake County Code Section 151.005);

Because the Vacant Parcels will contain single family houses, it will be consistent with the overall surrounding residential neighborhood areas and with the stated purposes of the Code.

2. The proposed rezoning corrects an error or inconsistency or meets the challenge of some changing condition in the area;

The parcels on the block where the Vacant Parcels are located are all residential and a portion of the Vacant Parcels were previously zoned residential. Rezoning Applicant’s Vacant Parcels will make them consistent with the surrounding residences.

3. The proposed rezoning will allow development that is compatible with existing uses and zoning of nearby property;

The rezoning will allow two homes to be built which will be compatible with existing uses on the neighboring properties, particularly those lots to the south which are part of the original subdivision.

4. The County and other service providers will be able to provide adequate public facilities and services to the property, while maintaining adequate levels of service to existing development;

The construction of the two residences will not impact the County’s ability to provide adequate public facilities and services to the property, while maintaining adequate levels of service to existing development. Applicant will work with the County to ensure adequate public facilities and services to the homes.

5. The proposed rezoning will not result in significant adverse impacts on other property in the vicinity of the subject tract or on the environment, including air, water, noise, stormwater management, wildlife and natural resources; and

The proposed rezoning is consistent with the other properties in the area. The two new residences on the Vacant Parcels will be constructed in accordance with all applicable codes and will not result in any adverse impact to other property in the vicinity. Further the rezoning will not result in any adverse impact on the environment.

6. The subject property is suitable for the proposed zoning classification.

The Vacant Parcels are suitable for the R-3 Residential zoning classification and in the past were residential in use.

D. Additional Factors:

- **The existing uses and zoning of nearby property.**

With the exception of the Applicant's Tavern on the Fox Lake, the surrounding properties are residential.

- **The extent to which property's value is diminished by the present zoning restrictions.**

Applicant has been and will continue to be a good neighbor. Under commercial zoning, it is unlikely that Applicant can use the property for a commercial use that will not impact the surrounding residential properties.

- **The extent to which the destruction of property values of applicant by the existing zoning promotes the health, safety, morals or general welfare of the public.**

The existing zoning does not impact or promote health, safety, morals or general welfare of the public.

- **The relative gain to the public as compared to the hardship imposed upon the individual property owner.**

The neighborhood will benefit from having two residences constructed on the property rather than a commercial structure.

- **The suitability of the subject property for the (presently) zoned purposes.**

Lots 2 and 3 are not suitable for commercial buildings as that does not fit with the character of that residential block.

- **The length of time the property has been vacant as zoned considered in the context of land development in the area in the vicinity of the subject property.**

Applicant understands that the Vacant Parcels have been vacant for a considerable amount of time.

- **The care with which the County has undertaken to plan its land use development.**

The County has provided for residential use in this area.

- **The community need for the use proposed.**

The Community will benefit from having residential use on Lots 2 and 3 rather than commercial.

REZONING APPLICATION
36909 -36895 N. Stanton Point Road, Ingleside, IL 60041

EXHIBIT B
NARRATIVE

SCHEDULE 1
PHOTOGRAPHS OF PROPERTY







REZONING APPLICATION

36909 -36895 N. Stanton Point Road, Ingleside, IL 60041

EXHIBIT C

PLAT OF SURVEY

REZONING APPLICATION


36909 -36895 N. Stanton Point Road, Ingleside, IL 60041

EXHIBIT D


LAKE COUNTY AERIAL MAP

Lake County, Illinois






Lake County, Illinois



Map Printed on 7/8/2025

N




Tax Parcel Information


Disclaimer: The selected feature may not occur anywhere in the current map extent. A Registered Land Surveyor should be consulted to determine the precise location of property boundaries on the ground. This map does not constitute a regulatory determination and is not a base for engineering design. This map is intended to be viewed and printed in color.

Lake County, Illinois






Lake County, Illinois



LakeCounty

Map Printed on 7/8/2025

N



Tax Parcel Information

Disclaimer: The selected feature may not occur anywhere in the current map extent. A Registered Land Surveyor should be consulted to determine the precise location of property boundaries on the ground. This map does not constitute a regulatory determination and is not a base for engineering design. This map is intended to be viewed and printed in color.

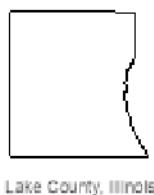
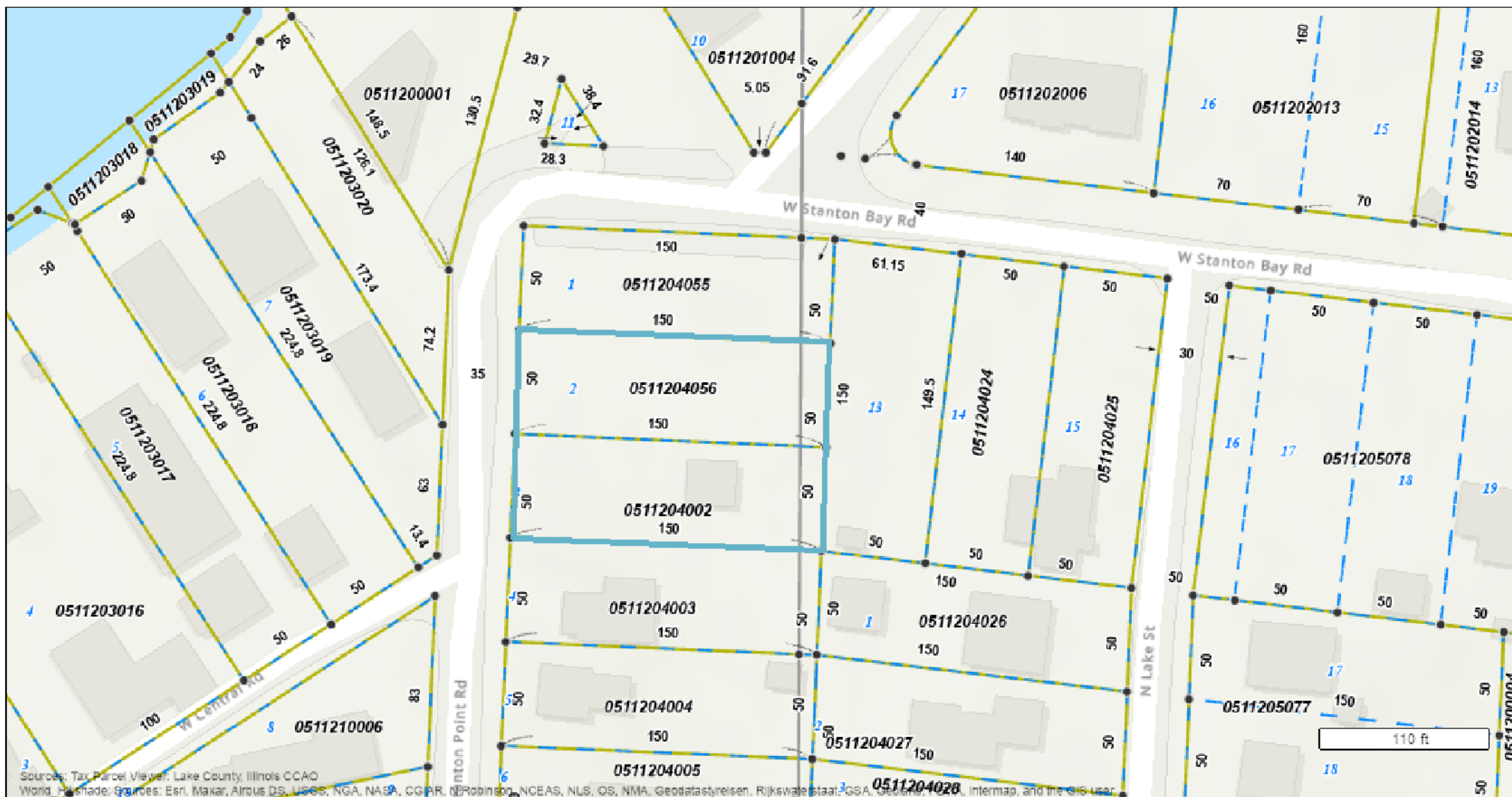
REZONING APPLICATION

36909 -36895 N. Stanton Point Road, Ingleside, IL 60041

EXHIBIT E

LAKE COUNTY TAX PARCEL MAP

Lake County, Illinois



Map Printed on 10/29/2025



■ Tax Parcels

□ Survey and
 Historic Tax Map
 Images

|| Lots

● Parcel Points

Dimensioning

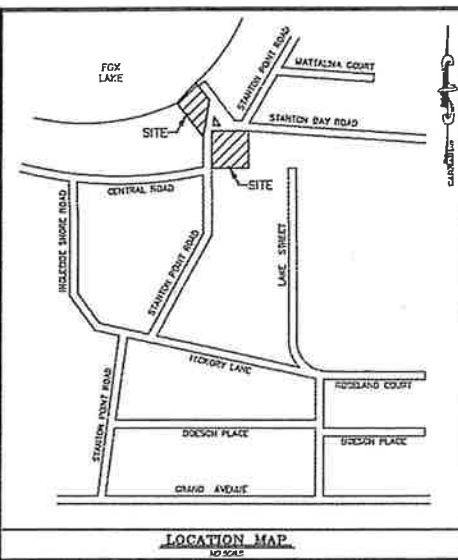
Dimension Arc
 Left

Dimension Arc
 Right

Dimension
 Arrow

Disclaimer:

The selected feature may not occur anywhere in the current map extent. A Registered Land Surveyor should be consulted to determine the precise location of property boundaries on the ground. This map does not constitute a regulatory determination and is not a base for engineering design. This map is intended to be viewed and printed in color.



PARCEL 1:
LOT 1 AND LOT 2 IN THOMAS STANTON'S SUBDIVISION OF PART OF SECTION 11, TOWNSHIP 45 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 13, 1902 AS DOCUMENT NUMBER 85290, IN BOOK "E" OF PLATS, PAGE 73, IN LAKE COUNTY, ILLINOIS.

PARCEL 2:
LOT 11 IN INGLEDRETH SUBDIVISION OF PART OF FRACTIONAL SECTIONS 2 AND 11, TOWNSHIP 45 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 15, 1920 AS DOCUMENT NUMBER 193559, IN BOOK "F" OF PLATS, PAGE 40, IN LAKE COUNTY, ILLINOIS.

PARCEL 3:
THAT PART OF THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 45 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT WHICH IS SOUTH 60 DEGREES WEST 43 FEET FROM THE NORTHWEST CORNER OF LOT 1 OF THOMAS STANTON'S SUBDIVISION OF PART OF SAID SECTION 11 AND RECORDED IN BOOK "E" OF PLATS, PAGE 73; RUNNING THENCE NORTH 33 DEGREES WEST 126.05 FEET; THENCE NORTH 40 DEGREES 32 MINUTES EAST ALONG A MEANDERED LINE OF FOX LAKE, 100 FEET TO THE WESTERLY LINE OF A 22 FOOT ROADWAY; THENCE SOUTH 31 DEGREES EAST ALONG THE WESTERLY LINE OF SAID ROADWAY 68 FEET TO THE NORTHWESTERLY LINE OF SAID 20 FOOT RIGHT OF WAY; THENCE SOUTHWEST 15 DEGREES 32 MINUTES WEST ALONG THE NORTHWESTERLY LINE OF SAID 20 FOOT RIGHT OF WAY, 130.5 FEET TO THE POINT OF BEGINNING, IN LAKE COUNTY, ILLINOIS.

PARCEL 4:
THAT PART OF THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 45 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT WHICH IS SOUTH 60 DEGREES WEST 43 FEET FROM THE NORTHWEST CORNER OF LOT 1 OF THOMAS STANTON'S SUBDIVISION OF PART OF SAID SECTION 11 AND RECORDED IN BOOK "E" OF PLATS, PAGE 73; RUNNING THENCE NORTH 31 DEGREES WEST, 126.05 FEET TO THE POINT OF BEGINNING; THENCE NORTH 40 DEGREES 32 MINUTES EAST ALONG A MEANDERED LINE OF FOX LAKE, 100 FEET TO THE WESTERLY LINE OF A 22 FOOT ROADWAY; THENCE NORTH 31 DEGREES WEST ALONG THE WESTERLY LINE OF SAID ROADWAY TO THE NORMAL LOW WATER MARK OF FOX LAKE; THENCE SOUTHWESTERLY ALONG SAID NORMAL LOW WATER MARK OF FOX LAKE TO A POINT NORTH 31 DEGREES WEST OF THE POINT OF BEGINNING, THENCE SOUTH 31 DEGREES EAST TO THE POINT OF BEGINNING, IN LAKE COUNTY, ILLINOIS.

PARCEL 5:
LOT 3 IN THOMAS STANTON'S SUBDIVISION OF PART OF SECTION 11, TOWNSHIP 45 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 13, 1902 AS DOCUMENT NUMBER 85290, IN BOOK "E" OF PLATS, PAGE 73, IN LAKE COUNTY, ILLINOIS.

AREA OF SITE - 35,459 SQ.FT. 0.8140 ACRES
AREA OF BUILDING - 1,663 SQ.FT.

- NOTES-**
- 1) UTILITIES SHOWN HEREON REFLECT THOSE OBSERVED ON THE GROUND AT THE TIME THE FIELD WORK WAS PERFORMED.
 - 2) WHILE PERFORMING THE FIELD WORK FOR THIS SURVEY THERE WAS NO OBSERVED EVIDENCE OF RECENT CONSTRUCTION OR EXCAVATION AT THIS SITE.
 - 3) INFORMATION SHOWN HEREON IS BASED ON ACTUAL MEASUREMENTS MADE IN THE FIELD AND NOT THE UTILIZATION OF ORTHOPHOTOGRAPHY, PHOTOGRAMMETRIC MAPPING, LASER SCANNING OR OTHER TECHNOLOGIES.
 - 4) LEGAL DESCRIPTION AS SHOWN IS CONTINUOUS AND LATER CONTAINS NO GAPS OR GORES.
 - 5) THERE IS NO OBSERVABLE EVIDENCE OF THIS PROPERTY BEING USED AS A CEMETERY.
 - 6) THERE IS NO OBSERVABLE EVIDENCE OF THIS PROPERTY BEING USED AS A SOLID WASTE DUMP, SLUMP OR SANITARY LAND FILL.
 - 7) NO EVIDENCE OF PROPOSED RIGHT OF WAY CHANGES HAS BEEN PROVIDED TO THIS OFFICE.
 - 8) NO EVIDENCE OF OFFSITE EASEMENTS OR SERVICELINES BASED ON THE RECORDED DOCUMENTS THAT HAVE BEEN PROVIDED TO THIS OFFICE.
 - 9) THERE DOESN'T APPEAR TO BE ANY ENDOCRIMENTS OF THE BUILDING OVER THE PROPERTY LINE OR RECORDED BUILDING LINES.
 - 10) ACCESS TO AND FROM THIS SITE IS VIA STANTON POINT ROAD A PUBLIC ROADWAY.
 - 11) NO PARKING SPACES DELINEATED ON SITE.

THIS IS TO CONFIRM THAT AS OF THIS DATE, A PORTION OF THE ABOVE MENTIONED PROPERTY IS LOCATED IN A DESIGNATED SPECIAL FLOOD HAZARD AREA, ACCORDING TO THE LATEST FLOOD INSURANCE RATE MAP AVAILABLE, AS FAR AS CAN BE DETERMINED.

COMMUNITY PANEL NO.: 17087C0019K
EFFECTIVE DATE: SEPTEMBER 18, 2013
ZONE: X, AE

STATE OF ILLINOIS }
COUNTY OF DU PAGE } SS

CERTIFIED TO: JUSTIN REALTY, INC.
AMERICAN LAND TITLE ASSOCIATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1-4, 7(a), 8(1), 9, 11, 16 AND 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 07/17/23. ALL DISTANCES SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF.

SIGNED AND SEALED AT CAROL STREAM, ILLINOIS THIS 17th DAY OF January, A.D. 20
BY Allen D. Conradus ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 33-2551

CMG	ALTANSPS SURVEY	Sheet
ALC	XXXXX XXXXX XXXXX & JAMES STANTON BOULEVARD	

36909, 36932, 36930 & 36993 STANTON POINT ROAD INGLESIDE, LAKE COUNTY, ILLINOIS	1
Prepared For: Sping. McGuire & Okal, PC	

Prepared By CARRADUS LAND SURVEY, INC. 191 S. Gary Avenue Suite 160, Carol Stream, ILLINOIS 60188 (630) 588-0410 (Fax) 630-7082 carradus_survey@yahoo.com	Project # 38105
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P.I.N.:
05-11-200-001
05-11-201-005
05-11-204-001
05-11-204-002

Date of Field Work:	01/17/20
Scale:	1" = 20'
File No. F#:	4B-01
Sheet:	



BY LICENSE EXPIRES NOVEMBER 30, 2024		Sheet
ALTANIS SURVEY 36909, 39632, 36930 & 39895 STANTON POINT ROAD INGLESIDE, LAKE COUNTY, ILLINOIS		1
Prepared For:	Spino, McGuire & Okal, PC	or 1
Prepared By:	CARRADUS LAND SURVEY INC. 101 S. Gary Avenue Suite 100, Carol Stream, ILLINOIS 60188 (630) 580-0410 (fax) (630) 580-0411 cell csls@carradus.com	Project # 38105-A

TITLE POLICY INFORMATION
THE PROPERTY SHOWN ON THIS SURVEY
IS THE SAME THAT IS DESCRIBED IN
AMERICAN LAND TITLE ASSOCIATION
COMMITMENT NO. 2231973
DATED DECEMBER 20, 2022 AND HAS
BEEN USED IN PREPARATION OF THIS
PLAT.

SCHEDULE B PART II
EXCEPTIONS

- 20) NOT SHOWN HEREON. DOCUMENT NO. 123152
NOT PROVIDED TO THIS OFFICE.
21) NOT SHOWN HEREON. DOCUMENT NO. 125017
NOT PROVIDED TO THIS OFFICE.
22) NOT SHOWN HEREON. DOCUMENT NO. 143634
NOT PROVIDED TO THIS OFFICE.
23) NOT SHOWN HEREON. DOCUMENT NO. 165066
NOT PROVIDED TO THIS OFFICE.
24) NOT SHOWN HEREON. DOCUMENT NO. 172591
NOT PROVIDED TO THIS OFFICE.
25) NOT SHOWN HEREON. DOCUMENT NO. 265012
NOT PROVIDED TO THIS OFFICE.
26) NOT SHOWN HEREON. DOCUMENT NO. 2737683
NOT PROVIDED TO THIS OFFICE.

NO OTHER SURVEY RELATED EXCEPTIONS LISTED IN
TITLE POLICY

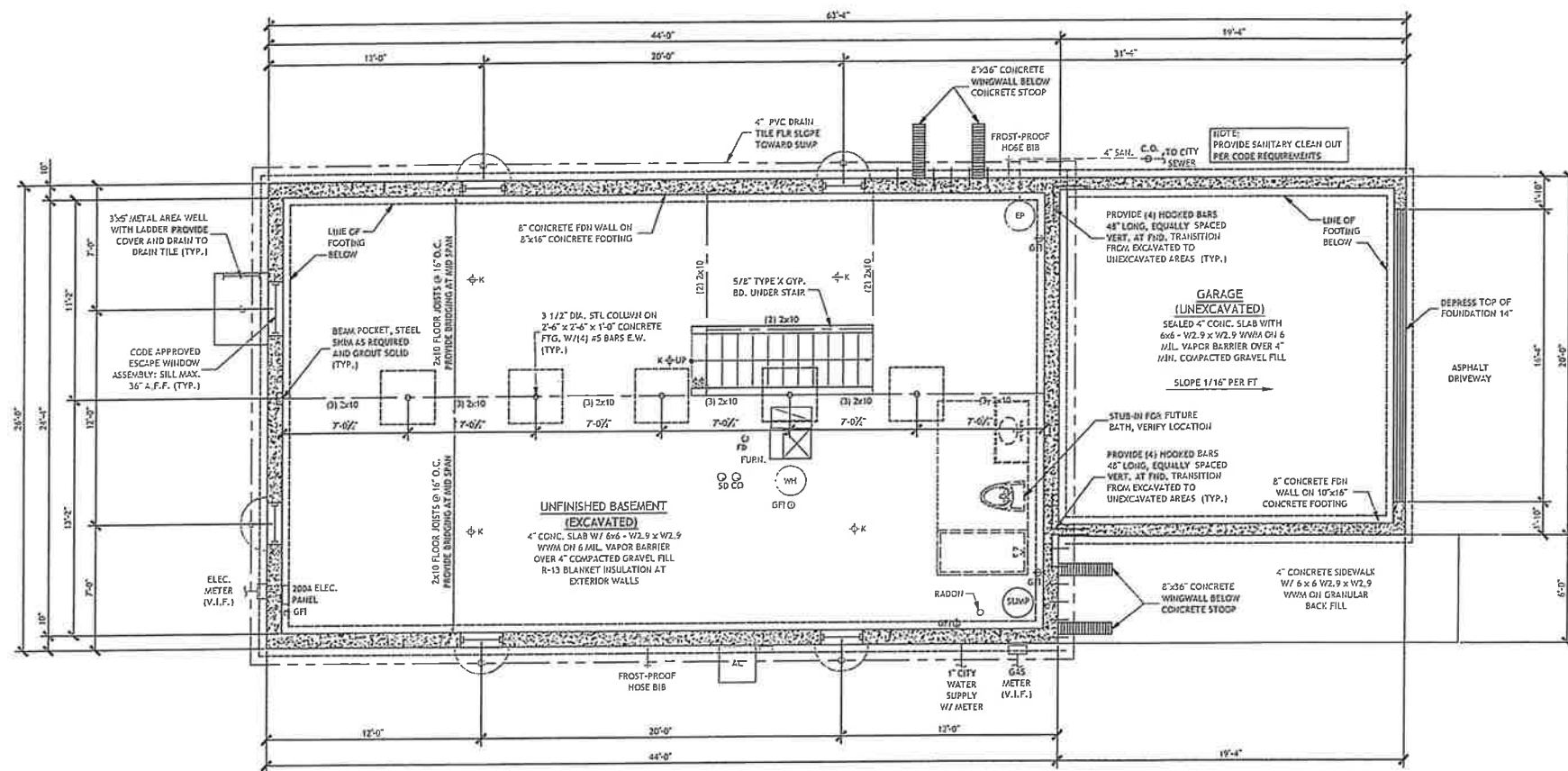
NOTES

1. All distances shown herein are in feet and decimal parts thereof converted to 20'.
2. Distances shown in curved lines are Arc Measurements unless otherwise noted.
3. Compare the Legal Description, Building Lines, and Easements as shown herein with your Deed, Title Insurance Policy or Title Commitment.
4. Consult local authorities for additional setbacks and restrictions not shown herein.
5. Compare all survey points and report any discrepancies immediately.
6. Consult utility companies and municipalities prior to the start of any construction.
7. Dimensions to and along buildings are exterior foundation measurements.
8. Do Not Assume distances from scaled measurements made herein.

FLOOD ZONE NOTE:
LOCATION OF FLOOD ZONE AS SHOWN HEREON
IS BASED ON SCALED MEASUREMENTS FROM THE
FLOOD INSURANCE RATE MAP LISTED HEREON.

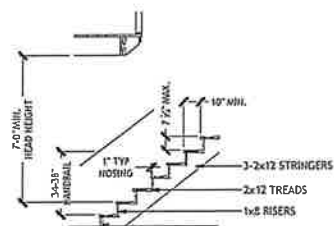
REZONING APPLICATION
36909 -36895 N. Stanton Point Road, Ingleside, IL 60041

EXHIBIT F
SITE PLAN



1 FOUNDATION PLAN
A2 SCALE 1/4" = 1'-0"

- NOTES:
- EP = EJECTOR PIT (IF REQUIRED, VERIFY EXACT LOCATION IN FIELD). PROVIDE 2" DISCHARGE AND VENT. BASIN SHALL BE INSTALLED WITH ITS TOP EDGE AT LEAST TWO INCHES (2") ABOVE THE FINISHED FLOOR AND SEALED WITH LID AIR TIGHT LID. PROVIDE GRINDER PUMP.
 - SUMP = STORM SUMP PUMP AND PIT. SUMP BASIN SHALL BE INSTALLED WITH ITS TOP EDGE AT LEAST TWO INCHES (2") ABOVE THE FINISHED FLOOR. DISCHARGE TO GRADE, 2" PVC DISCHARGE WITH AN AIR GAP OUTSIDE THE BUILDING.
 - FURN. = HIGH EFFICIENCY FURNACE WITH DIRECT VENT THRU RM JOIST
 - WH = WATER HEATER - HIGH EFFICIENCY 50-GALL WATER HEATER WITH DIRECT VENT THRU RM JOIST
 - RADON PASSIVE RADON SYSTEM PIPE THROUGH FLOOR (VERIFY LOCATION IN FIELD)
 - ALL CO/SMOKE DETECTORS TO BE HARDWIRED, INTERCONNECTED WITH BATTERY BACKUP IN EACH BEDROOM AND WITHIN 15' OF EACH BEDROOM AND ON EACH FLOOR LEVEL.



TYPICAL STAIR DETAIL
NOT TO SCALE

HANDRAILS AND GUARDRAILS

HANDRAILS & GUARDRAILS NOTE:
MINIMUM: HANDRAILS HAVING MIN. AND MAX. HEIGHTS OF 34" AND 38", RESPECTIVELY, MEASURED VERTICALLY FROM THE FINISH OF THE TREAD, SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS. SPIRAL STAIRWAYS SHALL HAVE THE REQUIRED HANDRAIL LOCATED ON THE OUTSIDE RISERS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEVEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL & THE HANDRAIL.

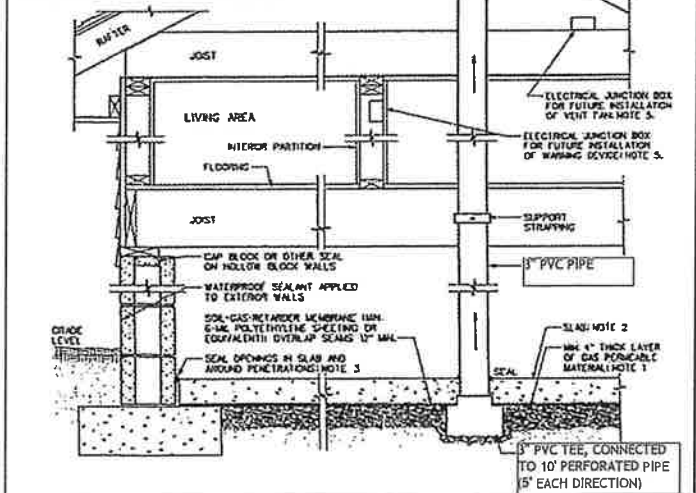
HANDRAIL GRIP SIZE: HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH A DIAMETER OF 1 1/4" TO 2" OR A NONCIRCULAR CROSS SECTION WITH A PERIMETER DIMENSION OF AT LEAST 4" BUT NOT MORE THAN 6 1/4" & A LARGEST CROSS-SECTION DIMENSION NOT EXCEEDING 2 1/4". ENDS SHALL HAVE A MIN. RADIUS OF 1/8".

GUARDRAILS: GUARDRAILS REQUIRED GUARDRAILS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES & PORCHES SHALL HAVE INTERMEDIATE RAILS WHICH DO NOT ALLOW PASSAGE OF AN OBJECT 4" OR MORE IN DIAMETER. REQUIRED GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONTAL RAILS OR OTHER ORNAMENTAL PATTERNS THAT RESULTS IN A LADDER EFFECT.

GUARDRAIL DETAILS: PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR SHALL HAVE GUARDRAILS NOT LESS THAN 30" IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30" ABOVE THE FLOOR SHALL HAVE GUARDRAILS NOT LESS THAN 34" IN HEIGHT MEASURED VERTICALLY FROM THE FINISH OF THE TREADS.

PASSIVE SUB-SLAB DEPRESSURIZATION RADON CONTROL SYSTEM FOR NEW CONSTRUCTION

- NOTES:
- ALL CONCRETE SLABS THAT COME IN CONTACT WITH THE GROUND SHALL BE Laid OVER A GAS PERMEABLE MATERIAL MADE UP OF EITHER A MINIMUM 1" THICK UNIFORM LAYER OF CLEAN AGGREGATE OR A MINIMUM 4" THICK UNIFORM LAYER OF SAND, OVERLAY BY A LAYER OF STRIPS OF MANUFACTURED MATERIALS DESIGNED TO ALLOW THE LATERAL FLOW OF SOIL GASES.
 - ALL CONCRETE FLOOR SLABS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL BUILDING CODES, ADDITIONAL REF: AMERICAN CONCRETE INSTITUTE PUBLICATIONS: "AC308.2R" & "AC308.3R" OR THE POST-TENSIONING INSTITUTE MANUAL, "DESIGN AND CONSTRUCTION OF POST-TENSIONED SLABS ON GROUND".
 - ALL OPENINGS, GAPS AND JOINTS IN FLOOR AND WALL ASSEMBLIES IN CONTACT SOIL OR GAPS AROUND PIPES, TOILETS, BATHUBS OR OTHER PENETRATING THESE ASSEMBLIES SHALL BE FILLED OR CLOSED WITH MATERIALS THAT PROVIDE A PERMANENT AIR-TIGHT SEAL. SEAL LARGE OPENINGS WITH NON-SHOWN MATERIAL, GROUTS OR EXPANDING FOAM MATERIALS AND SMALLER GAPS WITH AN ELASTOMERIC JOINT SEALANT, AS DEFINED IN ASTM C823-81.
 - VENT PIPES SHALL BE INSTALLED SO THAT ANY RAINWATER OR CONDENSATION DRAINAGE DOWNWARD INTO THE GROUND BENEATH THE SLAB OR SOIL-GAS-RETARDER MEMBRANE.
 - CIRCUITS SHOULD BE A MINIMUM 15 AMP, 115 VOLTS.



PASSIVE RADON MITIGATION SYSTEM
NOT TO SCALE

LIGHT & VENT SCHEDULE

ROOM NAME	FLOOR AREA, SQ. FT.	ORDINANCE REQUIREMENTS		PLAN PROVISIONS		NOTES:
		NATURAL LIGHT AND VENTILATION	PLAN PROVISIONS	NATURAL LIGHT AND VENTILATION	PLAN PROVISIONS	
		SQ. FT. GLASS AREA	SQ. FT. VENT AREA	SQ. FT. GLASS AREA	SQ. FT. VENT AREA	
KITCHEN/LIVING/DINING	392 S.F.	83 (32)	42 (16)	100 S.F.	50 S.F.	
MASTER BEDROOM	169 S.F.	85 (14)	45 (17)	30 S.F.	15 S.F.	
BEDROOM #1	124 S.F.	85 (10)	45 (5)	15 S.F.	7.5 S.F.	
BEDROOM #2	116 S.F.	85 (10)	45 (5)	15 S.F.	7.5 S.F.	
MASTER BATH	42 S.F.					60 CFM EXHAUST FAN
BATH	70 S.F.					60 CFM EXHAUST FAN

Preliminary Plans 07.07.25

Drawn By DH

Checked By

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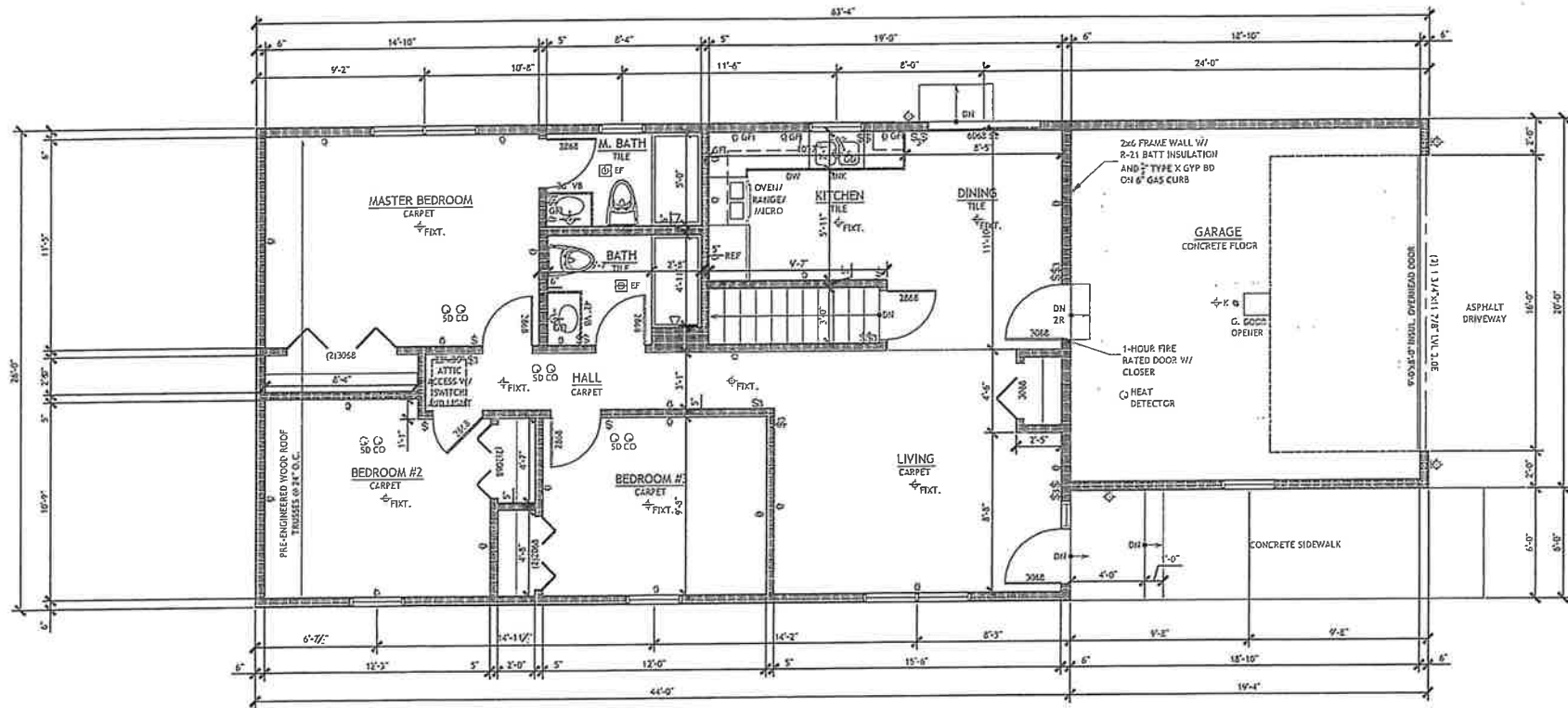
A2

2 of

PROJECT NUMBER

ADDRESS:
STANTON POINT ROAD
INGLESIDE IL, 60041

Project:
NEW RESIDENCE



- NOTES:
- VENT HOOD THROUGH ROOF OR WALL. KITCHEN EXHAUST HOOD SHALL BE PROVIDED WITH AN INTEGRATED MAKE-UP AIR SYSTEM IF THE CFMS ARE MORE THAN 400. THE MAKE-UP AIR SYSTEM IS REQUIRED TO OPERATE SIMULTANEOUSLY WITH THE KITCHEN EXHAUST HOOD.
 - ALL CO-SMOKE DETECTORS TO BE HARDWIRED, INTERCONNECTED WITH BATTERY BACKUP IN EACH BEDROOM AND WITHIN 15' OF EACH BEDROOM AND ON EACH FLOOR LEVEL.
 - VENT BATHROOM EXHAUST FANS THROUGH ROOF.

1 FIRST FLOOR PLAN
A3 SCALE 1/4" = 1'-0"

ELECTRICAL NOTES

ELECTRICAL LOAD DIAGRAM TO BE PROVIDED BY ELECTRICAL CONTRACTOR

PROVIDE RECESS INCANDESCENT LIGHT FIXTURE WITH SOLID LENS OR FLUORESCENTS III ALL CLOSETS 2'-0" DEEP OR LESS ALL RECESSED CAN FIXTURES SHALL HAVE LENS COVERS AND BE NO LESS THAN 6" HORIZONTALLY IN FRONT OF CLOSET SHELF OR STORAGE AREAS IN COMPLIANCE WITH THE NATIONAL ELECTRIC CODE

ALL ELECTRICAL INSTALLATIONS SHALL BE PER THE NATIONAL ELECTRICAL CODE AND PER LOCAL ORDINANCES.

CENTERLINE OF WALL SWITCHES ON FIRST FLOOR NOT TO EXCEED 48" ABOVE FINISHED FLOOR

CENTERLINE OF RECEPTACLES ON FIRST FLOOR TO BE NOT LESS THAN 15" ABOVE FINISHED FLOOR

ANY OUTLET BOX WITHIN LIVING SPACES THAT COULD REASONABLY ACCOMMODATE A CEILING FAN SHALL BE INSTALLED FOR CEILING FAN SUPPORT. ONLY BOXES LISTED FOR THIS APPLICATION SHALL BE PERMITTED AS THE SOLE MEANS OF SUPPORT.

PROVIDE SWITCHED ATTIC LIGHTING AT ACCESS PER LOCAL CITY CODE.

RECEPTACLES SERVING KITCHEN COUNTER SHALL BE SPACED IN ACCORDANCE WITH THE CURRENT STATE AND LOCAL CODES AND SHALL HAVE GFI CIRCUIT PROTECTION.

ALL APPROVED SMOKE DETECTORS SHALL BE UL LISTED AND BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

SMOKE DETECTORS SHALL BE HARDWIRED WITH BATTERY BACKUP.

A SEPARATE 30 AMP CIRCUIT IS REQUIRED FOR EACH BATHROOM.

ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15 AND 20 AMPERE RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC FAULT CIRCUIT INTERRUPTER. (1999 N.E.C., 210-12)

PROVIDE MECHANICAL VENTILATION FOR BATHROOM. THE MINIMUM VENTILATION RATE SHALL BE 50 CFM FOR INTERMITTENT VENTILATION. PIPE MATERIAL SHALL BE METALLIC OR RIGID METAL FLEXIBLE DUCT, PVC OR SHEET METAL. PIPE MUST BE MECHANICALLY ANCHORED AND TRAPPED. VENT DIRECTLY TO THE OUTSIDE BY AN APPROVED METHOD.

INSTALL EXHAUST FAN AS SHOWN AND VENT TO EXTERIOR. TYP. SEE SPECIFICATIONS.

CONTRACTOR TO VERIFY ADEQUACY OF SPECIFIED PANEL FOR POWER REQUIREMENTS OF HOUSE.

ANY CEILING BOX IN THE AREA OF THE CENTER OF THE ROOM SHALL BE A FAN RATED BOX. (314.27(D) AMENDED)

RECEPTACLES SERVING KITCHEN COUNTER SHALL BE SPACED IN ACCORDANCE WITH THE CURRENT STATE AND LOCAL CODES AND SHALL HAVE GFI CIRCUIT PROTECTION. A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH WALL COUNTERTOP SPACE THAT IS 12 IN. OR WIDER. RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24 IN. MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THAT SPACE.

RECEPTACLES SHALL BE INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 1.8 M (6 FT) FROM A RECEPTACLE OUTLET.

ALL APPROVED SMOKE DETECTORS SHALL BE UL LISTED AND BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. SMOKE DETECTORS SHALL BE PHOTOELECTRIC TYPE. SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL BE INTERCONNECTED.

IN ALL AREAS SPECIFIED IN 210.52, ALL 125-VOLT, 15-AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLES. (406.11)

ALL 120-VOLT, SINGLE PHASE, 15-AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, BATHROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (210-12(B))

ELECTRICAL LEGEND

- 6" RECESSED LIGHT FIXTURE
- WALL SCONCE
- LIGHT FIXTURE
- PORCELAIN LIGHT FIXTURE
- FLUORESCENT LIGHT FIXTURE WITH LENS
- SINGLE POLE TOGGLE SWITCH
- 3 WAY SWITCH
- 4 WAY SWITCH
- DIMMER SWITCH
- SINGLE RECEPTACLE OUTLET ON DEDICATED CIRCUIT
- GROUND FAULT (GFI) RECEPTACLE
- RECEPTACLE
- TELEPHONE OUTLET
- CABLE OUTLET
- EXHAUST FAN
- CEILING FAN
- THERMOSTAT
- DOORBELL
- SMOKE DETECTOR (HARDWIRED)
- CARBON MONOXIDE DETECTOR (HARDWIRED)
- PROVIDE 110V OUTLET FOR DISHWASHER
- PROVIDE 110V OUTLET FOR GARBAGE DISPOSAL
- PROVIDE 110V OUTLET FOR MICROWAVE
- PROVIDE 220V FOR RANGE
- PROVIDE 220V FOR AIR CONDITIONER
- PROVIDE PROPER WIRING FOR WHIRLPOOL TUB

ORIGINAL ROOF TRUSS DRAWINGS WITH LAYOUT WILL BE SUBMITTED. DRAWINGS MUST BE PREPARED AND STAMPED BY A DESIGN PROFESSIONAL REGISTERED IN THE STATE OF ILLINOIS. ROOF TRUSSES MUST BE DESIGNED TO SUPPORT A THIRTY-POUND SNOW LOAD.

FIRE BLOCKING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

- * IN CONCEALED SPACE IN STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
- 1.1 VERTICAL AT THE CEILING AND FLOOR LEVELS.
- 1.2 HORIZONTAL AT INTERVALS NOT EXCEEDING 10 FEET.
- * AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURS AT SOFFITS, CEILINGS AND COVE CEILINGS.

EVERY SLEEPING ROOM LOCATED ABOVE GRADE SHALL HAVE AT LEAST ONE OPENABLE EMERGENCY ESCAPE AND RESCUE OPENING. THE EMERGENCY ESCAPE AND RESCUE OPENING SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR AND SHALL BE A MINIMUM OF 5.0 SQUARE FEET NET CLEAR OPENING (GRADE LEVEL ONLY) AND 5.7 SQ. FT. FOR BASEMENT AND SECOND FLOOR WITH A MINIMUM WIDTH OF 20 INCHES AND A MINIMUM HEIGHT OF 24 INCHES

ATTIC ACCESS DOORS OR HATCHES MUST BE WEATHER-STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES. (IECC R402.2.4)

A PERMANENT CERTIFICATE OF INSULATION MUST BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, FOUNDATION, AND DUCTS OUTSIDE CONDITIONED SPACES. IT MUST ALSO LIST THE U-FACTORS AND SOLAR HEAT GAIN COEFFICIENT FOR ALL PENETRATION.

A BLOWER DOOR AND DUCT LEAKAGE TEST REPORT IS REQUIRED TO BE SUBMITTED TO OUR OFFICE FOR APPROVAL PRIOR TO SCHEDULING THE FINAL INSPECTION. PLEASE FORWARD THE TEST RESULTS TO YOUR PROJECT MANAGER BEFORE REQUESTING A FINAL INSPECTION.

GENERAL NOTES

PROVIDE DOUBLE JOISTS UNDER PARALLEL PARTITIONS AND AT ALL SPECIAL LOADING CONDITIONS (i.e. BATHTUBS, WASHERS, ETC.)

INSTALLATION OF MANUFACTURED FLOOR JOISTS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. PROVIDE SIMPSON 1/4" RAFTER CLIP OR EQUAL AT ALL RAFTER TO PLATE CONNECTIONS.

ALL DOOR AND WINDOW UNITS SHALL BE A MIN. OF (1) 2-1/2" (U.L.O.), (TYP.)

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE, OPERATING WITHOUT THE USE OF TOOLS. WHERE WINDOWS ARE PROVIDED, THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 3'-6" ABOVE THE FLOOR. ESCAPE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MIN. CLEAR OPENING OF X SQUARE FEET. THE MIN. CLEAR OPENING HEIGHT DIMENSION SHALL BE 2'-0" AND THE MIN. CLEAR WIDTH DIMENSION SHALL BE 2'-0". EGRESS WINDOWS AND DOORS MUST COMPLY WITH SECTION 310 (1998 I.O.T.F.D.C.)

ALL GLAZING SHALL CONFORM TO CURRENT STATE AND LOCAL CODES

GLAZING SHALL BE TEMPERED IN WINDOWS ADJACENT TO DOORS, WITHIN DOORS, AND GLAZING ADJACENT TO TUBS.

STAIRWAY DESIGN: MINIMUM 7'-0" CONTINUOUSLY CLEAR HEAD ROOM SHALL BE MAINTAINED. THE HEIGHT SHALL BE MEASURED VERT. FROM THE STAIR RISING TO A LINE PARALLEL WITH THE RUN OF THE STAIR. ALL STAIRS SHALL HAVE A MINIMUM OF 3'-0" WIDTH. BASEMENT STAIRS MAY BE 2'-0" CLEAR OF THE HANDRAIL. ALL TREADS SHALL BE A MINIMUM OF 10 1/2" IN WIDTH INCLUDING NOSING AND SHALL BE UNIFORM IN WIDTH. THE RISE OF EACH STEP SHALL BE NOT MORE THAN 7 1/2". THE HEIGHT OF EACH RISE IN A STAIR RUN SHALL BE UNIFORM IN HEIGHT.

PROVIDE FIRE STOPPING AT ALL CONCEALED SPACES BETWEEN STAIR STRINGER AT TOP AND BOTTOM OF RUN. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALL AND SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 5/8" GYPSUM BOARD.

SPECIFICATION SHEETS FOR ALL APPLIANCES, FURNACE, AIR CONDITIONER, WATER HEATER, AND MECHANICAL EQUIPMENT SHALL BE PROVIDED TO THE VILLAGE

- SUPPLY DUCTS IN UNCONDITIONED ATTIC HAVE INSULATION -- R-8 (TO COMPLY WITH ENERGY STAR PRESCRIPTIVE PATH)
- SUPPLY DUCTS IN UNCONDITIONED ATTIC HAVE INSULATION -- R-8 (TO COMPLY WITH ENERGY STAR PERFORMANCE PATH)
- ALL OTHER SUPPLY DUCTS AND ALL RETURN DUCTS IN UNCONDITIONED SPACE HAVE INSULATION -- R-6

INSTALL INSULATED DUCTWORK, BOXES, AND BOOTS IN ALL UNCONDITIONED SPACES TO MEET EITHER THE PRESCRIPTIVE OR PERFORMANCE PATH.

INSTALL ALL DUCTS IN UNCONDITIONED SPACES WITHOUT COMPRESSING THE INSULATION.

HVAC CALCULATIONS AND DIAGRAMS TO BE PROVIDED HVAC CONTRACTOR

ALL CONTRACTORS SHALL FOLLOW O.S.H.A. (29 CFR PART 1926) SAFE WORK PRACTICES PERSONAL MATERIAL SAFETY DATA RECORDING AND EMPLOYEE TRAINING REQUIREMENTS PER FEDERAL LAW.

ADD OWNER AS ADDITIONAL INSURED FOR ALL CONTRACTORS WORKING ON SITE. SUBMIT CERTIFICATES PRIOR TO START OF WORK.

ALL WORK SHALL COMPLY WITH LOCAL ORDINANCES AND CODES AND COUNTY HEALTH DEPARTMENT REQUIREMENTS.

A PERMANENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL. THE CERTIFICATE SHALL NOT COVER OR OBSTRUCT THE VISIBILITY OF THE CIRCUIT DIRECTORY LABEL, SERVICE DISCONNECT LABEL OR OTHER REQUIRED LABELS. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, FOUNDATION (SLAB, BASEMENT WALL, CRAWLSPACE WALL AND/OR FLOOR) AND DUCTS OUTSIDE CONDITIONED SPACES; U-FACTORS FOR PENETRATION AND THE SOLAR HEAT GAIN COEFFICIENT (SHGC) OF PENETRATION, AND THE RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING DONE ON THE BUILDING. WHERE THERE IS MORE THAN ONE VALUE FOR EACH COMPONENT, THE CERTIFICATE SHALL LIST THE VALUE COVERING THE LARGEST AREA. THE CERTIFICATE SHALL LIST THE TYPES AND EFFICIENCIES OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT, WHERE A GAS-FIRED UNVENTED ROOM HEATER, ELECTRIC FURNACE, OR BASEBOARD ELECTRIC HEATER IS INSTALLED IN THE RESIDENCE, THE CERTIFICATE SHALL LIST "GAS-FIRED UNVENTED ROOM HEATER," "ELECTRIC FURNACE" OR "BASEBOARD ELECTRIC HEATER," AS APPROPRIATE. AN EFFICIENCY SHALL NOT BE LISTED FOR GAS-FIRED UNVENTED ROOM HEATERS, ELECTRIC FURNACES OR ELECTRIC BASEBOARD HEATERS.

ALL REQUIRED HANDRAILS SHALL CONFORM TO SECTION CURRENT STATE AND LOCAL CODES

ALL COLUMNS ARE TO BE 2X6 PSL COLUMNS (U.L.O.) AND CHASED CONTINUOUSLY TO STEEL MEMBERS IN FIRST FLOOR FRAMING OR CONCRETE FOUNDATION WALL.

CONTRACTOR TO PROVIDE PRODUCT MANUFACTURER LITERATURE AND INSTALLATION INSTRUCTIONS FOR FURNACE ADDRESSING CLEARANCE TO COMBUSTIBLES. ALSO, ADVISE LOCATION, BTU RATING AND SOURCE OF COMBUSTION AIR TO MEET REQUIREMENTS OF PROVIDE SAFETY FAN W/ A FLOOR GRILL FOR CLOTHES WASHING MACHINE -- NOT IN BASEMENT

ALL TILE FLOORS SHALL HAVE A "DURAROCK" OR EQUAL UNDERLAYMENT W/ ADHESIVE.

TYPICAL INTERIOR FINISH: 5/8" GYPSUM BOARD FINISH AT ALL WALLS, PAINTED (TYP.). 5/8" GYPSUM BOARD INTERIOR FINISH AT ALL CEILINGS, PAINTED (TYP.). SEE SCHEDULE FOR MILLWORK INFORMATION.

NO LOW AIR RETURN'S OR ROOMS WITH WALLSCOTTING.

PLUMBING: ALL PLUMBING IS TO BE INSTALLED PER THE CURRENT ILLINOIS STATE PLUMBING CODE AND VILLAGE ORDINANCES

PROVIDE MECHANICAL VENTILATION FOR BATHROOM. THE MINIMUM VENTILATION RATE SHALL BE 50 CFM FOR INTERMITTENT VENTILATION. PIPE MATERIAL SHALL BE METALLIC OR RIGID METAL FLEXIBLE DUCT, PVC, OR SHEET METAL. PIPE MUST BE MECHANICALLY ANCHORED AND TRAPPED. VENT DIRECTLY TO THE OUTSIDE BY AN APPROVED METHOD.

ALL APPLIANCES, PLUMBING FIXTURES, VANITY CABINETS WITH TOPS, BASE AND WALL CABINETS AND COUNTERTOPS TO BE SELECTED BY OWNER. REFER TO FINISH SCHEDULE FOR ALLOWANCES.

SHOWER/TUB WALL FINISH: PER CODE REQUIREMENTS, A SMOOTH, HARD, NON-ABSORBENT SURFACE BE PROVIDED TO A MINIMUM OF 6'-0" ABOVE THE FLOOR. IF GYPSUM BOARD IS USED AS A BASE FOR TILE OR OTHER MATERIAL, IT MUST BE MANUFACTURED FOR SUCH USE. WALL FINISH AT ALL SHOWER AND TUB LOCATIONS SHALL BE CERAMIC TILE OVER MINIMUM 1/2" DURAROCK FOR FULL HEIGHT, TYPICAL.

CONTRACTOR MUST COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS FOR ALL CLIMBING EQUIPMENT AND SAFETY ISSUES, INCLUDING BUT NOT RESTRICTED TO SCAFFOLDING O.S.H.A. REGULATIONS (29 CFR PART 1910). CONTRACTOR MUST CERTIFY WITH DOCUMENTS THAT WORKERS ARE TRAINED IN SCAFFOLD ASSEMBLY AND FALL PROTECTION.

PROVIDE WARNING SIGNS AND FLAGGING TO PREVENT THE PUBLIC FROM APPROACHING THE BUILDING DURING CONSTRUCTION.

Preliminary Plans 07.07.25

Drawn By DH

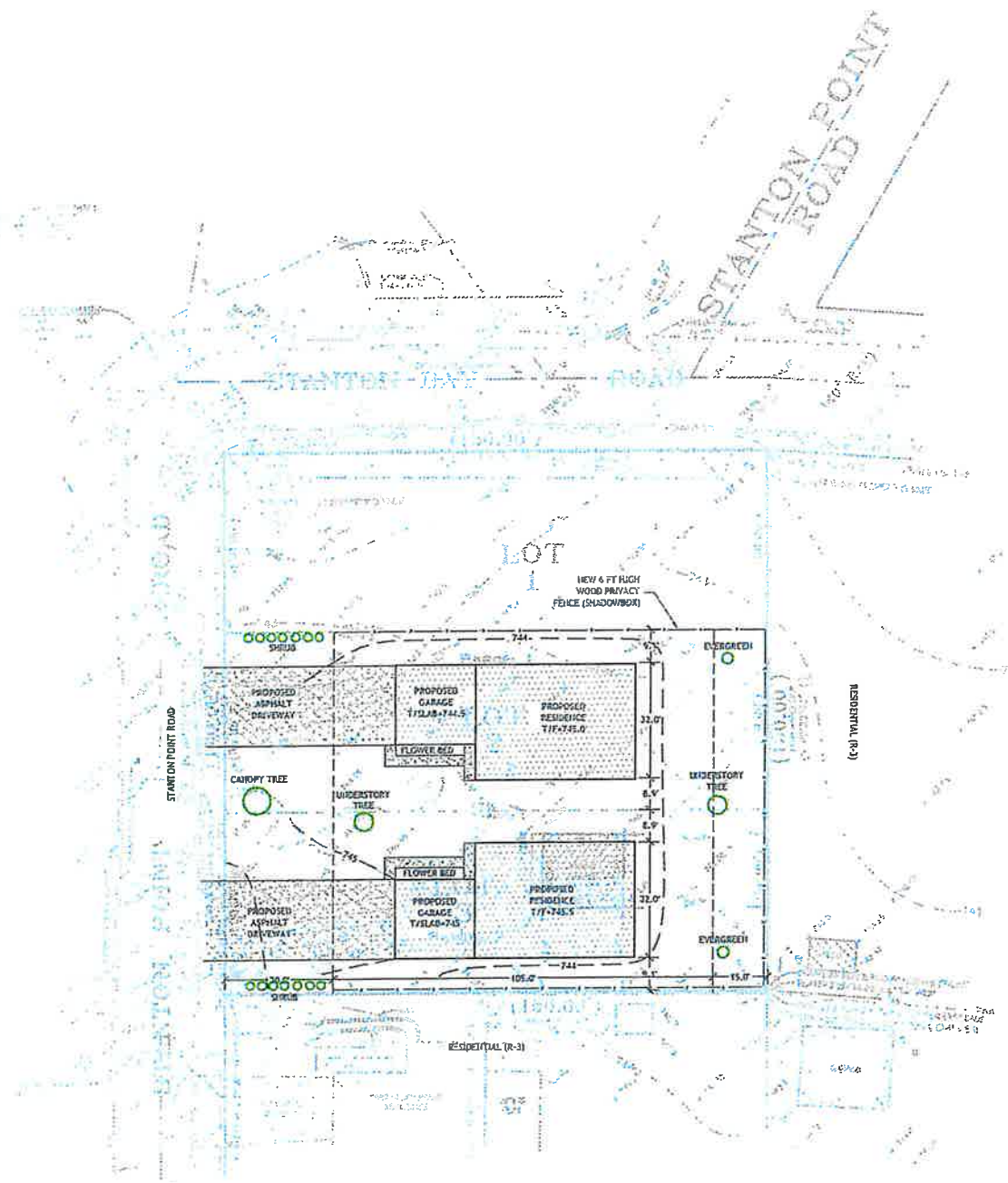
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A3

PROJECT NUMBER

LEGAL DESCRIPTION

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$\frac{1}{2} \times 100 = 50$
 $\frac{1}{2} \times 100 = 50$

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	TRADE EXCHANGE	
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REZONING APPLICATION

36909 -36895 N. Stanton Point Road, Ingleside, IL 60041

EXHIBIT G

BUILDING PLANS

INDEX OF DRAWINGS

- ARCHITECTURAL
A1 ELEVATIONS
A2 FOUNDATION PLAN AND DETAILS
A3 FIRST FLOOR PLAN AND NOTES
A3 WALL SECTION AND SPECIFICATIONS

CODE / ORDINANCE DATA

APPLICABLE CODES:
2012 IRC (INTERNATIONAL RESIDENTIAL CODE)
2012 INTERNATIONAL MECHANICAL CODE
2012 FUEL GAS CODE
2011 NATIONAL ELECTRICAL CODE
CURRENT ILLINOIS STATE PLUMBING CODE
2015 INTERNATIONAL ENERGY CONSERVATION CODE

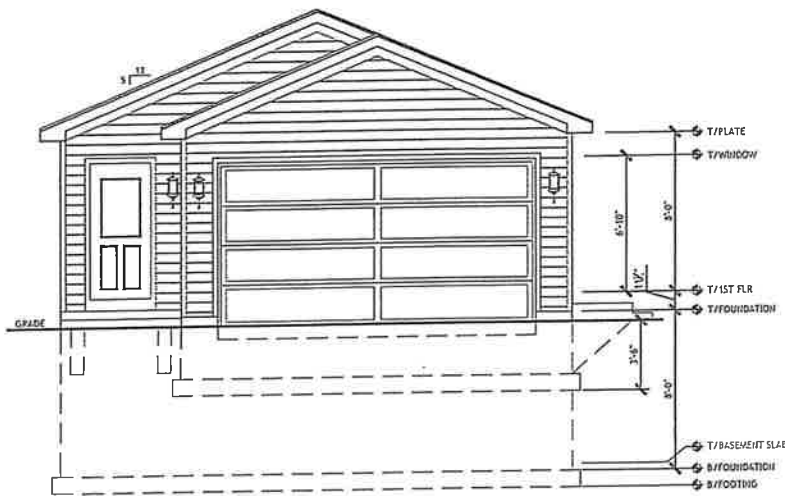
(PRESCRIPTIVE METHOD IN LIEU OF RESCHECK) R-19 WALLS,
R-49 CEILING, WINDOW U-FACTOR 0.30, R-10 BELOW GRADE

APPROVED PLANS SHALL BE ON SITE FOR ALL INSPECTIONS

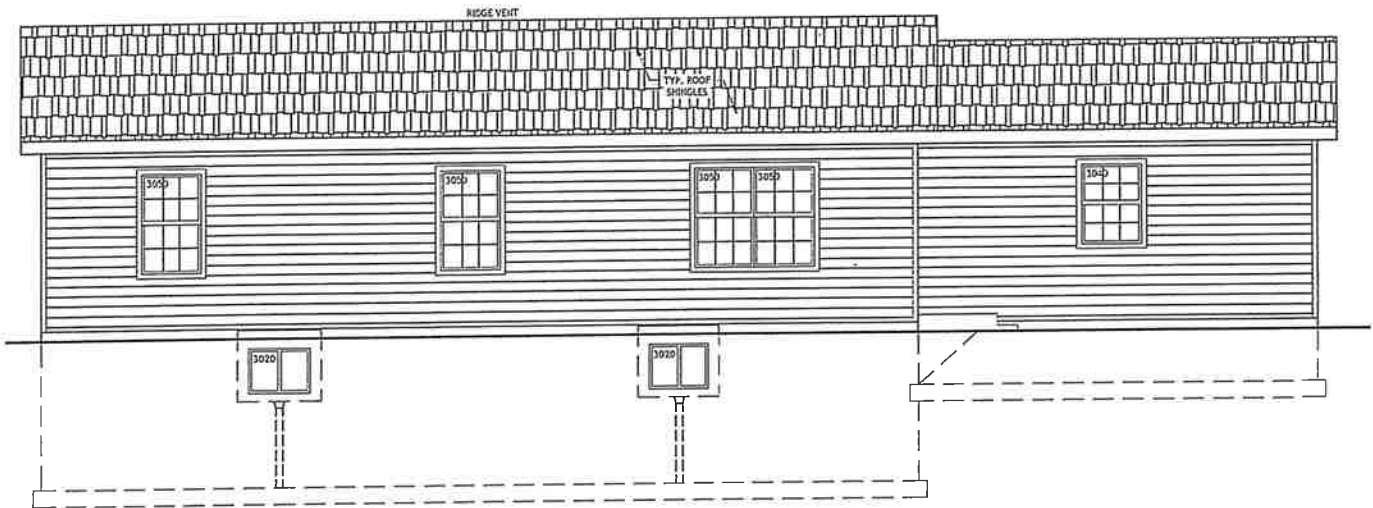
FLOOR LOADS = 50psf
ROOF LOAD = 30psf
WIND LOAD = 80 mph/ EXPOSURE B

ADDRESS:
STANTON POINT ROAD
INGLESIDE IL, 60041

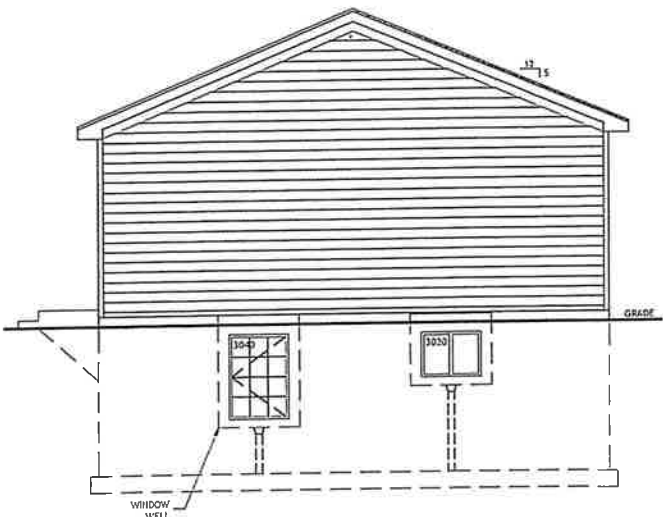
Project:
NEW RESIDENCE



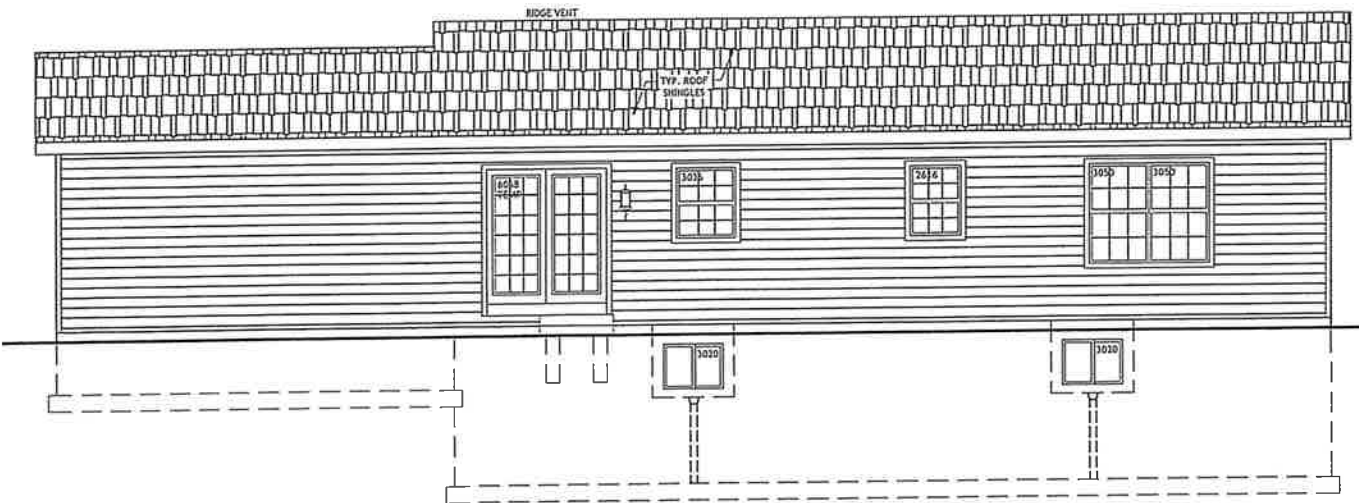
1 FRONT ELEVATION
A1 SCALE 1/4"= 1'-0"



2 LEFT ELEVATION
A1 SCALE 1/4"= 1'-0"



3 REAR ELEVATION
A1 SCALE 1/4"= 1'-0"



4 RIGHT ELEVATION
A1 SCALE 1/4"= 1'-0"

Preliminary Plans 07.07.25

Drawn By OH

Checked By

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1 of

PROJECT NUMBER

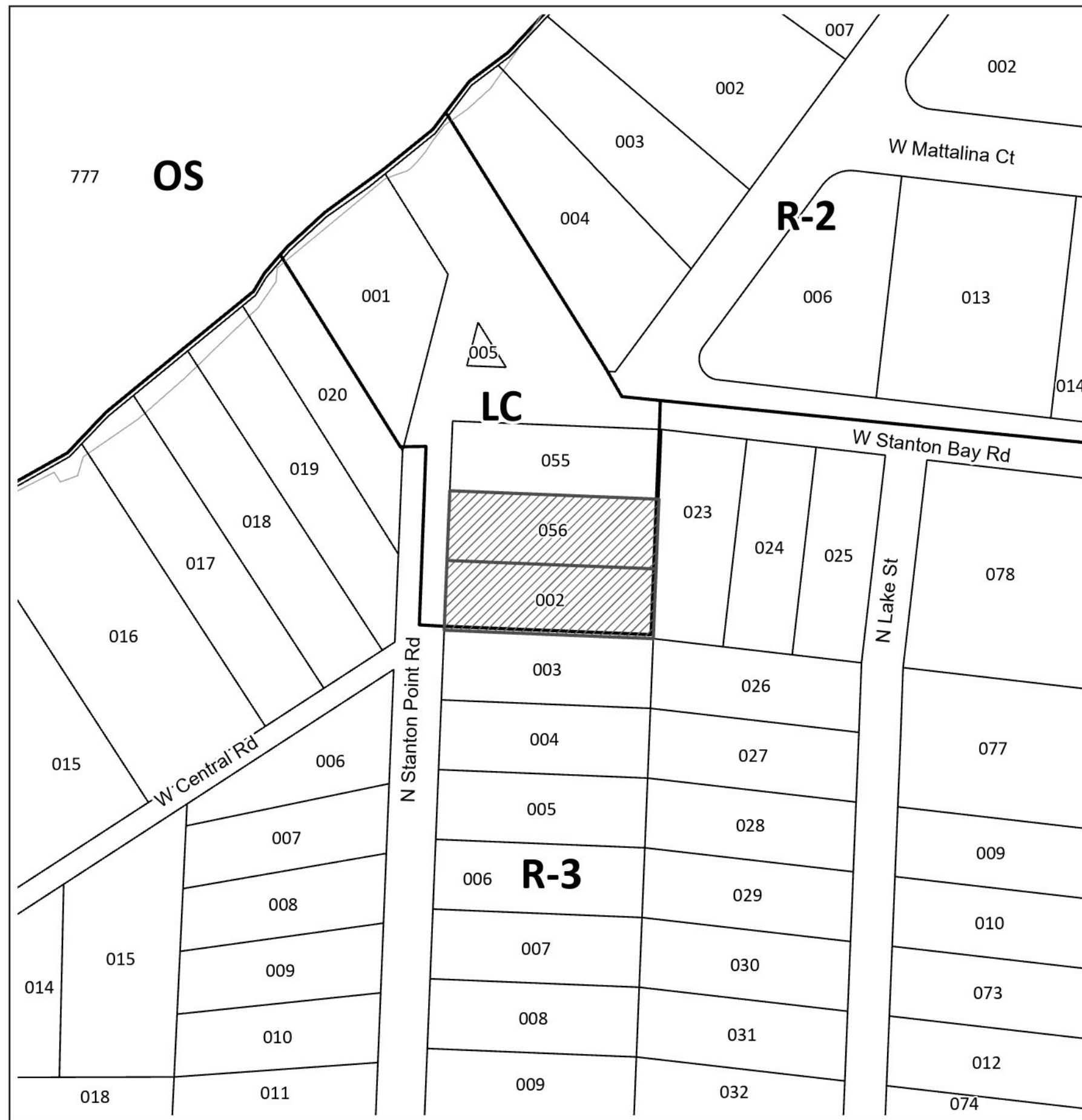


Incorporated Lake County
 Subject Parcel



Zoning Board of Appeals
 Case #RZON-001126-2025

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 Feet

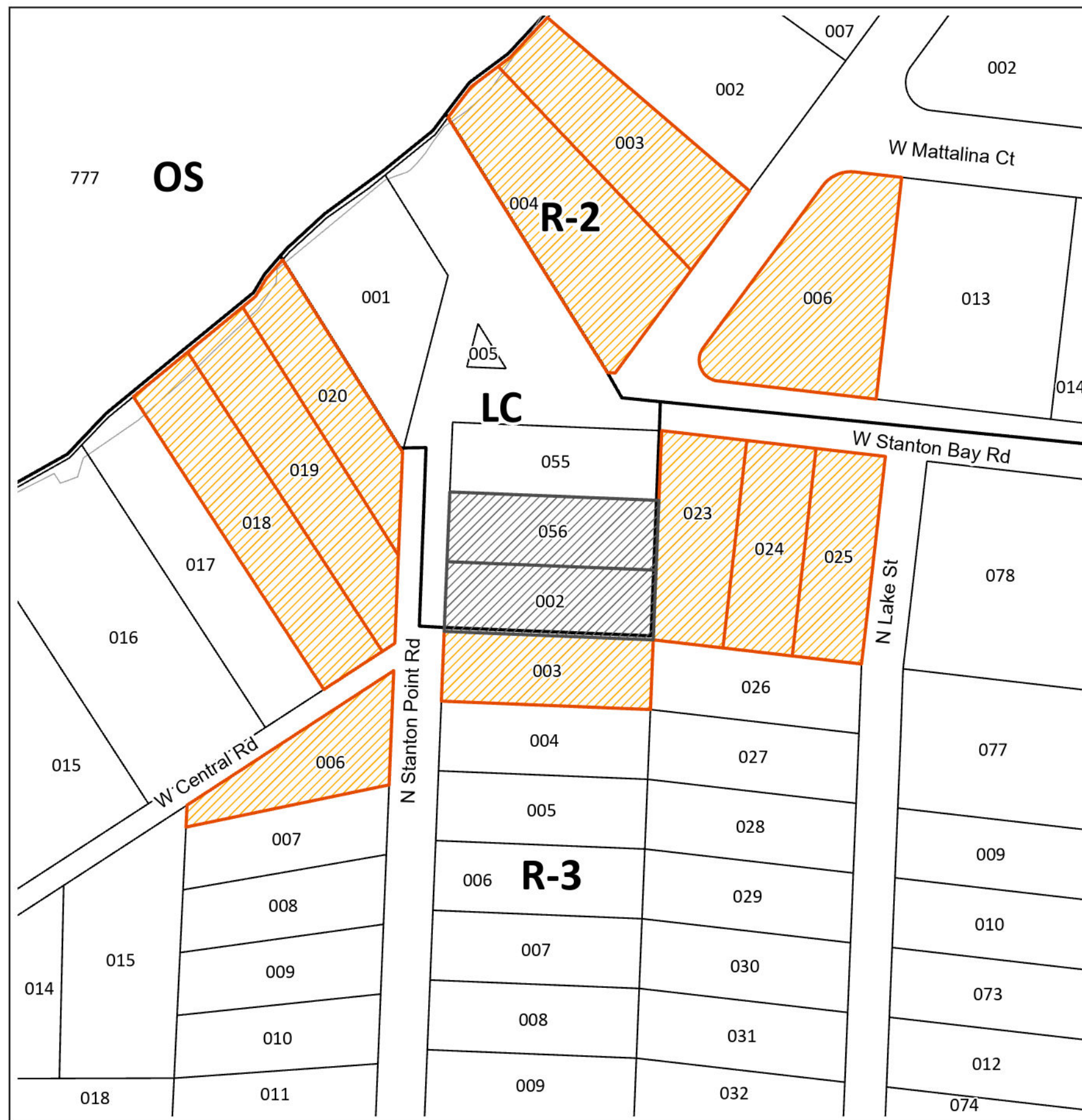


Incorporated Lake County
 Subject Parcel



Zoning Board of Appeals Case #RZON-001126-2025

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Zoning Board of Appeals
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