

LAKE COUNTY ZONING NOTICE RZON-001126-2025

Grant Township

The Lake County Zoning Board of Appeals has scheduled a public hearing at 1:00 PM on Tuesday November 18, 2025, at the Fox Lake District Library 255 East Grand Avenue Fox Lake, IL on the petition of Justen Realty, Inc., record owner, who seeks the following:

Rezoning of two parcels from Limited Commercial (LC) to Residential-3 (R3) to allow for the construction of one single-family home on each parcel.

Please note that quantitative values may be subject to minor alterations due to the conditions surveyed. The subject properties are located at 36909 and 36895 N Stanton Pt. Rd. Fox Lake, IL 60041 and is approximately 0.34 acres.

Jason Justen is the sole director and officer of Justen Realty Inc., 166 Cherry Ln Ingleside, IL. Jason Justen, also of 166 Cherry Ln Ingleside, IL, is the sole shareholder of Justen Realty, Inc. with ownership of one hundred percent of the issued and outstanding shares.

PIN:0511204002, 0511204056

This application is available for public examination online at <https://www.lakecountyil.gov/calendar.aspx?EID=12671> or at the office of the Lake County Zoning Board of Appeals, 500 W. Winchester Rd, Libertyville, Illinois, Attn: Thomas Chefalo, Project Manager 847-377-2120

**Gregory Koeppen
Chair**

LAKE COUNTY ZONING BOARD OF APPEALS

REZONING APPLICATION

Applicant(s): Justen Realty, Inc.
(please print) Owner(s)

Subject Property: Present Zoning: LC Limited Commercial
Present Use: Vacant
Proposed Use: Residential Two Single Family Homes
PIN(s): the south half of 05-11-204-001, 05-11-204-002
Address: 36909-36895 N. Stanton Point Rd.
Ingleside, IL 60041

Legal description:
(X see deed) See Exhibit "A"
*New Pin for 2026 will be 05-11-204-056

Request: I/we request the property be rezoned to the R-3 Residential
district.

I/we believe this rezoning is justified because:

Applicant requests a change in zoning to R-3 Residential because it is a better fit for the community, the surrounding properties are residential. Please see the Narrative attached as Exhibit B for further information.

PLEASE SEE APPLICANT'S NARRATIVE ATTACHED HERETO AS EXHIBIT "B"
AND MADE A PART THEREOF.

Approval Criteria

The Lake County Zoning Board of Appeals is required to make findings of fact on your request. You should "make your case" by explaining specifically how your proposed request relates to each of the following criteria:

1. The proposed rezoning is consistent with the stated purpose and intent of the zoning regulations (Lake County Code Section 151.005);

PLEASE SEE APPLICANT'S NARRATIVE ATTACHED HERETO AS EXHIBIT "B" AND
MADE A PART THEREOF.

2. The proposed rezoning corrects an error or inconsistency or meets the challenge of

some changing condition in the area;

PLEASE SEE APPLICANT'S NARRATIVE ATTACHED HERETO AS EXHIBIT "B" AND MADE A PART THEREOF.

3. The proposed rezoning will allow development that is compatible with existing uses and zoning of nearby property;

PLEASE SEE APPLICANT'S NARRATIVE ATTACHED HERETO AS EXHIBIT "B" AND MADE A PART THEREOF.

4. The County and other service providers will be able to provide adequate public facilities and services to the property, while maintaining adequate levels of service to existing development;

PLEASE SEE APPLICANT'S NARRATIVE ATTACHED HERETO AS EXHIBIT "B" AND MADE A PART THEREOF.

5. The proposed rezoning will not result in significant adverse impacts on other property in the vicinity of the subject tract or on the environment, including air, water, noise, stormwater management, wildlife and natural resources; and

PLEASE SEE APPLICANT'S NARRATIVE ATTACHED HERETO AS EXHIBIT "B" AND MADE A PART THEREOF.

6. The subject property is suitable for the proposed zoning classification.

PLEASE SEE APPLICANT'S NARRATIVE ATTACHED HERETO AS EXHIBIT "B" AND MADE A PART THEREOF.

APPLICANT INFORMATION

Owner (include all fee owners listed on deed):		Authorized Agent: I/we hereby authorize this person to represent me/us in all matters related to this application:
Name:	Justen Realty Inc.	
Address:	166 Cherry Lane, Ingleside	
State/Zip:	IL 60041	
Daytime Phone:		
Email:		
		Name: James Babowice
		Address: 2 S. Whitney Street, Grayslake
		State/Zip: IL 60030
		Daytime Phone: 847-223-1500
		Email: jbabowice@grayslakelaw.com

Applicant (if other than owner):	Contract Purchaser (if any):
Name: _____	Name: _____
Address: _____	Address: _____
State/Zip: _____	State/Zip: _____
Daytime Phone: _____	Daytime Phone: _____
Email: _____	Email: _____

I/We hereby attest that all information given above is true and complete to the best of my/our knowledge. Justen Realty, Inc. [Redacted]

By: Owner's Signature, Jason Justen, President

Owner's Signature

Signature(s) of contract purchasers (If applicable)

Given under my hand and Notarial Seal this 11th day of July, 2019.

(Seal)

My Commission expires



COURT REPORTER AGREEMENT

CHECK ONE OF THE FOLLOWING:



I authorize the County to act on my behalf to retain a Certified Shorthand Reporter to transcribe the public hearing and provide a transcript to the Zoning Board of Appeals. I further agree to pay the Reporter reasonable fees for his/her services. If I do not pay the Reporter and the County is invoiced and pays the Reporter, I agree to reimburse the County. If the County sues to obtain reimbursement, I agree to pay the County its reasonable attorney's fees in bringing suit and obtaining a judgment.



I will furnish a Certified Shorthand Reporter to transcribe the public hearing and provide a transcript to the Zoning Board of Appeals. I realize that the failure to do so may result in the continuation of the public hearing in which case I agree to reimburse the County for all additional expenses caused by such continuation.

Just

By:

Signature, Jason Justen, President

Billing Contact Information:

Jason Justen _____
Print Name

Phone Number

THIS SIGNED AGREEMENT MUST ACCOMPANY YOUR APPLICATION

Disclosure Statement

Justen Realty Inc.

The undersigned is the sole shareholder, sole director and sole officer of Justen Realty, Inc., an Illinois corporation (the “Corporation”). The undersigned owns one hundred percent (100%) of the issued and outstanding shares of the Corporation. The address of the Corporation and of the undersigned is 166 Cherry Lane, Ingleside, Illinois 60041.

Date: July 8, 2025

Justen Realty Inc.

By:

Jason Justen, President

REZONING (MAP AMENDMENT) APPLICATION EXHIBIT LIST

36909 -36895 N. Stanton Point Road, Ingleside, IL 60041

Exhibit "A": Warranty Deed

Exhibit "B": Narrative

Schedule 1: Photographs of Property

Exhibit "C": Plat of Survey

Exhibit "D": Lake County Aerial Map

Exhibit "F": Lake County Tax Parcel Map

Exhibit "F" : Site Plan

Exhibit "G" : Building Plans

REZONING APPLICATION
36909 -36895 N. Stanton Point Road, Ingleside, IL 60041

EXHIBIT A
WARRANTY DEED

TRUSTEE'S DEED

This indenture made this 7th day of March, 2023 between CHICAGO TITLE LAND TRUST COMPANY, a corporation of Illinois, as Trustee, under the provisions of a deed or deeds in trust, duly recorded and delivered to said company in pursuance of a trust agreement dated the 26th day of October, 2011 and known as Trust Number 8002358179, party of the first part, and

Type: DTR
Recorded: 3/16/2023 10:23:55 AM
Fee Amt: \$510.00 Page 1 of 4
Receipt#: 202300010612
IL Rental Housing Fund: \$9.00
State Stamp Fee: \$300.00
County Stamp Fee: \$150.00
Lake County IL
Anthony Vega Lake County Clerk

File# 7963580

Justen Realty, Inc.
party of the second part,

whose address is :
166 Cherry Lane
Ingleside IL 60041

REAL ESTATE TRANSFER TAX	
County:	\$150.00
Illinois:	\$300.00
Total:	\$450.00

Stamp No: 4-B23-705-472
Declaration Id: 2023004969382
Instrument No: 7963580
Date: 16-Mar-2023

WITNESSETH, That said party of the first part, in consideration of the sum of TEN and no/100 DOLLARS (\$10.00) AND OTHER GOOD AND VALUABLE considerations in hand paid, does hereby CONVEY AND QUITCLAIM unto said party of the second part, the following described real estate, situated in Lake County, Illinois, to wit:

SEE LEGAL DESCRIPTION ATTACHED HERETO AND INCORPORATED HEREIN

Property Address: 36909, 36932, and 36930 North Stanton Point Road, Ingleside Illinois 60041

Permanent Tax Number: 05-11-204-001; 05-11-201-005; 05-11-200-001

together with the tenements and appurtenances thereunto belonging.

TO HAVE AND TO HOLD the same unto said party of the second part, and to the proper use, benefit and behoove forever of said party of the second part.

This deed is executed pursuant to and in the exercise of the power and authority granted to and vested in said trustee by the terms of said deed or deeds in trust delivered to said trustee in pursuance of the trust agreement above mentioned. This deed is made subject to the lien of every trust deed or mortgage (if any there be) of record in said county given to secure the payment of money, and remaining unreleased at the date of the delivery hereof.

PRAIRIE TITLE
6821 W. NORTH AVE.
OAK PARK, IL 60302

IN WITNESS WHEREOF, said party of the first part has caused its corporate seal to be hereto affixed, and has caused its name to be signed to these presents by its Assistant Vice President, the day and year first above written.



CHICAGO TITLE LAND TRUST COMPANY,
as Trustee as Aforesaid

By: _____
Patricia K. Holtry Assistant Vice President

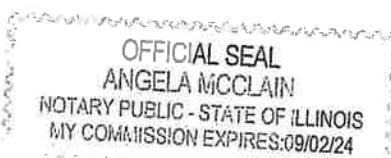
State of Illinois
County of Cook SS.

I, the undersigned, a Notary Public in and for the County and State aforesaid, do hereby certify that the above named Assistant Vice President of **CHICAGO TITLE LAND TRUST COMPANY**, personally known to me to be the same person whose name is subscribed to the foregoing instrument as such Assistant Vice President appeared before me this day in person and acknowledged that he/she signed and delivered the said instrument as his/her own free and voluntary act and as the free and voluntary act of the Company; and the said Assistant Vice President then and there caused the corporate seal of said Company to be affixed to said instrument as his/her own free and voluntary act and as the free and voluntary act of the Company.

Given under my hand and Notarial Seal this 7th day of March, 2023.



NOTARY PUBLIC



This instrument was prepared by:
Patricia K. Holtry
CHICAGO TITLE LAND TRUST COMPANY
1100 Lake Street Suite 100C
Oak Park IL 60301

AFTER RECORDING, PLEASE MAIL TO:

NAME: M. Berresheim

ADDRESS: Two South Whitney

CITY STATE ZIP: Grayslake IL 60030

SEND SUBSEQUENT TAX BILLS TO:

NAME: Justen Realty Inc

ADDRESS: 166 Cherry Ln

CITY STATE ZIP: Ingleside IL 60041

LEGAL DESCRIPTION

PARCEL 1:

LOT 1 AND LOT 2 IN THOMAS STANTON'S SUBDIVISION OF PART OF SECTION 11, TOWNSHIP 45 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 13, 1902 AS DOCUMENT NUMBER 85290, IN BOOK "E" OF PLATS, PAGE 73, IN LAKE COUNTY, ILLINOIS.

PARCEL 2:

LOT 11 IN INGLECREST SUBDIVISION OF PART OF FRACTIONAL SECTIONS 2 AND 11, TOWNSHIP 45 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 15, 1920 AS DOCUMENT NUMBER 193559, IN BOOK "K" OF PLATS, PAGE 40, IN LAKE COUNTY, ILLINOIS.

PARCEL 3:

THAT PART OF THE NORTHEAST 1/4 OF SECTION 11, TOWNSHIP 45 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT WHICH IS SOUTH 60 DEGREES WEST 43 FEET FROM THE NORTHWEST CORNER OF LOT 1 OF THOMAS STANTON'S SUBDIVISION OF PART OF SAID SECTION 11 AND RECORDED IN BOOK "E" OF PLATS, PAGE 73; RUNNING THENCE NORTH 31 DEGREES WEST 126.06 FEET; THENCE NORTH 40 DEGREES 32 MINUTES EAST ALONG A MEANDED LINE OF FOX LAKE, 100 FEET TO THE WESTERLY LINE OF A 22 FOOT ROADWAY; THENCE SOUTH 31 DEGREES EAST ALONG THE WESTERLY LINE OF SAID ROADWAY 68 FEET TO THE NORTHWESTERLY LINE OF SAID 20 FOOT RIGHT-OF-WAY; THENCE SOUTH 15 DEGREES 32 MINUTES WEST ALONG THE NORTHWESTERLY LINE OF SAID 20 FOOT RIGHT-OF-WAY, 130.5 FEET TO THE POINT OF BEGINNING, IN LAKE COUNTY, ILLINOIS.

PARCEL 4:

THAT PART OF THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 45 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT WHICH IS SOUTH 60 DEGREES WEST 43 FEET FROM THE NORTHWEST CORNER OF LOT 1 OF THOMAS STANTON'S SUBDIVISION OF PART OF SAID SECTION 11 AND RECORDED IN BOOK "E" OF PLATS, PAGE 73; RUNNING THENCE NORTH 31 DEGREES WEST 126.06 FEET TO THE POINT OF BEGINNING; THENCE NORTH 40 DEGREES 32 MINUTES EAST ALONG A MEANDED LINE OF FOX LAKE, 100 FEET TO THE WESTERLY LINE OF A 22 FOOT ROADWAY; THENCE NORTH 31 DEGREES WEST ALONG THE WESTERLY LINE OF SAID ROADWAY TO THE NORMAL LOW WATER MARK OF FOX LAKE; THENCE SOUTHWESTERLY ALONG SAID NORMAL LOW WATER MARK OF FOX LAKE TO A POINT NORTH 31 DEGREES WEST OF THE POINT OF BEGINNING; THENCE SOUTH 31 DEGREES EAST TO THE POINT OF BEGINNING, IN LAKE COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 36909, 36932, and 36930 N. Stanton Point Road, Ingleside, IL 60041

PERMANENT INDEX NUMBERS: 05-11-204-001; 05-11-201-005; 05-11-200-001



Anthony Vega
Lake County Clerk

Plat Act Affidavit

LAKE COUNTY CLERK'S OFFICE
RECORDING DIVISION
18 N COUNTY ST - 6TH FLOOR
WAUKEGAN, IL 60085-4358
(847) 377-2575
FAX: (847) 984-5860

STATE OF ILLINOIS }
COUNTY OF LAKE } SS

I, (name) Jon Williams, being duly sworn on oath, state that I reside at 38324 N. 8th St., Spring Grove, IL 60081, and that the attached deed is not in violation of the Plat Act, Ch. 765 ILCS 205/1.1(b), as the provisions of this Act do not apply and no plat is required due to the following allowed exception (*Circle the number applicable to the attached deed*):

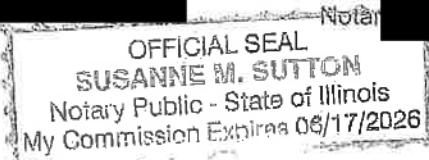
1. The division or subdivision of land into parcels or tracts of 5 acres or more in size which does not involve any new streets or easements of access;
2. The division of lots or blocks of less than 1 acre in any recorded subdivision which does not involve any new streets or easements of access;
3. The sale or exchange of parcels of land between owners of adjoining and contiguous land;
4. The conveyance of parcels of land or interests therein for use as a right of way for railroads or other public utility facilities and other pipelines which does not involve any new streets or easements of access;
5. The conveyance of land owned by a railroad or other public utility which does not involve any new streets or easements of access;
6. The conveyance of land for highway or other public purposes or grants or conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use;
7. Conveyances made to correct descriptions in prior conveyances;
8. The sale or exchange of parcels or tracts of land following the division into no more than 2 parts of a particular parcel or tract of land existing on July 17, 1959, and not involving any new streets or easements of access;
9. The sale of a single lot of less than 5 acres from a larger tract when a survey is made by an Illinois Registered Land Surveyor; provided, that this exemption shall not apply to the sale of any subsequent lots from the same larger tract of land, as determined by the dimensions and configuration of the larger tract on October 1, 1973, and provided also that this exemption does not invalidate any local requirements applicable to the subdivision of land;
10. The conveyance of land does not involve any land division and is described in the same manner as title was taken by grantor(s).

AFFIANT further states that this affidavit is made for the purpose of inducing the COUNTY CLERK OF LAKE COUNTY, ILLINOIS to accept the attached deed for recording. (This affidavit is not applicable to Facsimile Assignment of Beneficial Interest.)

SUBSCRIBED and SWORN to before me this 6th day
of March, 2023.

(Signature)

Revised: December 1, 2022 8:30 AM



(seal)

2231973 ①

WARRANTY DEED
ILLINOIS STATUTORY
INDIVIDUAL TO CORPORATION

Type: DW
Recorded: 3/16/2023 10:23:55 AM
Fee Amt: \$135.00 Page 1 of 3
Receipt#: 202300010612
IL Rental Housing Fund: \$9.00
State Stamp Fee: \$50.00
County Stamp Fee: \$25.00
Lake County IL
Anthony Vega Lake County Clerk

File# 7963579

REAL ESTATE TRANSFER TAX

County:	\$25.00
Illinois:	\$50.00
Total:	\$75.00

Stamp No:	1-362-866-384
Declaration ID:	20230304969509
Instrument No:	7963579
Date:	16-Mar-2023

MAIL TO:

Mary Lee Berresheim
Two South Whitney
Grayslake, IL, 60030

GRANTOR(S), Jon Williams, a single man of the City of Ingleside, County of Lake, and State of Illinois, for and in consideration of TEN and 00/100 Dollars (\$10.00), and other good and valuable consideration, the receipt and sufficiency is hereby acknowledged, CONVEY(S) and WARRANT(S) to the GRANTEE(S), Justen Realty, Inc., an Illinois Corporation, of 166 Cherry Lane, City of Ingleside, County of Lake, State of Illinois, the following described real estate situated in the County of Cook, State of Illinois to-wit:

SEE ATTACHED FOR LEGAL DESCRIPTION

SUBJECT TO: General and special real estate taxes which are not yet due and payable; conditions, covenants and restrictions of record; building lines and easements, if any, so long as they do not interfere with the current use and enjoyment of the property, hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

THIS IS NOT HOMESTEAD PROPERTY.

TO HAVE AND TO HOLD said premises forever.

Permanent Index Number: 05-11-204-002

PRAIRIE TITLE
6921 W. NORTH AVE
OAK PARK, IL 60307

Property Address: 36895 Stanton Point Road, Ingleside, IL 60041

SIGNATURE PAGE TO FOLLOW

2331973 ①

WARRANTY DEED
ILLINOIS STATUTORY
INDIVIDUAL TO CORPORATION

MAIL TO:

Mary Lee Berresheim
Two South Whitney
Grayslake, IL, 60030

GRANTOR(S), **Jon Williams**, a single man of the City of Ingleside, County of Lake, and State of Illinois, for and in consideration of TEN and 00/100 Dollars (\$10.00), and other good and valuable consideration, the receipt and sufficiency is hereby acknowledged, CONVEY(S) and WARRANT(S) to the GRANTEE(S), **Justen Realty, Inc.**, an Illinois Corporation, of 166 Cherry Lane, City of Ingleside, County of Lake, State of Illinois, the following described real estate situated in the County of Cook, State of Illinois to-wit:

SEE ATTACHED FOR LEGAL DESCRIPTION

SUBJECT TO: General and special real estate taxes which are not yet due and payable; conditions, covenants and restrictions of record; building lines and easements, if any, so long as they do not interfere with the current use and enjoyment of the property, hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

THIS IS NOT HOMESTEAD PROPERTY.

TO HAVE AND TO HOLD said premises forever.

Permanent Index Number: 05-11-204-002

PRAIRIE TITLE
6821 W. NORTH AVE
OAK PARK, IL 60307

Property Address: 36895 Stanton Point Road, Ingleside, IL 60041

SIGNATURE PAGE TO FOLLOW

DATED this 6th day of March, 2023.

(Grantor) Jon Williams

STATE OF ILLINOIS)
) SS.
COUNTY OF COOK)

I, the undersigned, a Notary Public in and for said County in the State aforesaid DO HEREBY CERTIFY that the above named person(s) personally known to me to be the same person(s) whose name(s) is/are subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that he/she/they signed sealed and delivered said instrument as his/her/their free and voluntary act for the uses and purposes herein set forth.

Given under my hand and official seal this 6th day of March, 2023.



111/285

This document prepared by:

John M. Kennelly, of Counsel
Spina, McGuire & Okal, P.C.
7610 North Ave.
Elmwood Park IL 60707

Send future tax bills to:

Justen Realty, Inc.
166 Cherry Lane
Ingleside, IL 60041

LEGAL DESCRIPTION

Lot 3 in Thomas Stanton's subdivision of part of Section 11, Township 45 North, Range 9, East of the Third Principal Meridian, according to the Plat thereof recorded March 13, 1902 as Document Number 85290, in Book "E" of Plats, Page 73, in Lake County, Illinois.

PIN: 05-11-204-002

COMMONLY KNOWN AS: 36895 Stanton Point Road, Ingleside, IL 60041

REZONING APPLICATION
36909 -36895 N. Stanton Point Road, Ingleside, IL 60041

EXHIBIT B
NARRATIVE

EXHIBIT "B"

NARRATIVE TO REZONING ("MAP AMENDMENT") APPLICATION

A. Historical Background and Necessity of Rezoning

Applicant Justen Realty Inc., an Illinois corporation, is the legal owner of vacant lots at 36909 and 36895 N. Stanton Road, Ingleside, Illinois 60041 identified as Lots 2 and 3 in Thomas Stanton's Subdivision (collectively the "**Property**"). Copies of the **Deeds** are attached as *Exhibit A* to the Application. A copy of the Plat of **Survey and Topographic Survey** for the Property are attached as *Exhibit C* to the Application. The Property is zoned LC Limited Commercial.

Lot 2 is vacant ("**Lot 2**") and Lot 3 is vacant except for a garage ("**Lot 3**"). (Lots 2 and 3 are sometimes hereinafter referred to as the "**Vacant Parcels**"). The Property is near the Fox Lake. The surrounding properties to the east, south and west are residential and are zoned R-2 and R-3 Residential. The properties to the north are zoned LC Limited Commercial. The **Lake County Aerial and Tax Parcel maps** are attached as **Exhibits D** and **E** to the Application.

Applicant acquired the property in 2023. Applicant understands that Lots 2 and 3 previously contained houses. The Lake County Public Works Dept. noted in the County's Early Assistance Summary that structures existed on both parcels and each parcel was connected to Lake County Public Works sewer. The pre-existing lots are part of the Thomas Stanton Subdivision. These lots are legal non-conforming lots 50 feet in width. The other lots in this subdivision are improved with residences on 50 foot wide lots.

Jason Justen is the sole shareholder of the Applicant corporation. Mr. Justen also owns several other businesses in Lake County. Applicant seeks to improve the Vacant Parcels with two long term rental single family homes with attached garage as shown on the Applicant's Proposed **Site Plan** attached to the Application as **Exhibit F**.

Applicant has experience with owning rental properties in Lake County. Applicant partners with a management company, Jergensen Enterprise Property Management as well as professional cleaning and landscaping crews to maintain a clean and welcome environment for renters as well as the surrounding neighbors and community.

B. Description of Rezoning Requested

1. Applicant seeks Rezoning Approval (Map Amendment) with respect to the Vacant Parcels to change the zoning from LC Limited Commercial to R-3 Residential. Petitioner seeks approval to allow two newly constructed homes on Lots 2 and 3 to be leased for long term rentals of one

year or more. The existing garage on Lot 3 will be removed. The plans, specifications and building elevations for the proposed building improvements (the “Plans”) on Lots 2 and 3 are attached hereto as **Exhibit G** and made a part hereof.

2. Applicant requests concurrent approval of its Site Plan per Section 151.070 (B)(2).

C. Approval Criteria for Rezoning:

1. The proposed rezoning is consistent with the stated purpose and intent of the zoning regulations (Lake County Code Section 151.005);

Because the Vacant Parcels will contain single family houses, it will be consistent with the overall surrounding residential neighborhood areas and with the stated purposes of the Code.

2. The proposed rezoning corrects an error or inconsistency or meets the challenge of some changing condition in the area;

The parcels on the block where the Vacant Parcels are located are all residential and a portion of the Vacant Parcels were previously zoned residential. Rezoning Applicant’s Vacant Parcels will make them consistent with the surrounding residences.

3. The proposed rezoning will allow development that is compatible with existing uses and zoning of nearby property;

The rezoning will allow two homes to be built which will be compatible with existing uses on the neighboring properties, particularly those lots to the south which are part of the original subdivision.

4. The County and other service providers will be able to provide adequate public facilities and services to the property, while maintaining adequate levels of service to existing development;

The construction of the two residences will not impact the County’s ability to provide adequate public facilities and services to the property, while maintaining adequate levels of service to existing development. Applicant will work with the County to ensure adequate public facilities and services to the homes.

5. The proposed rezoning will not result in significant adverse impacts on other property in the vicinity of the subject tract or on the environment, including air, water, noise, stormwater management, wildlife and natural resources; and

The proposed rezoning is consistent with the other properties in the area. The two new residences on the Vacant Parcels will be constructed in accordance with all applicable codes and will not result in any adverse impact to other property in the vicinity. Further the rezoning will not result in any adverse impact on the environment.

6. The subject property is suitable for the proposed zoning classification.

The Vacant Parcels are suitable for the R-3 Residential zoning classification and in the past were residential in use.

D. Additional Factors:

• The existing uses and zoning of nearby property.

With the exception of the Applicant's Tavern on the Fox Lake, the surrounding properties are residential.

• The extent to which property's value is diminished by the present zoning restrictions.

Applicant has been and will continue to be a good neighbor. Under commercial zoning, it is unlikely that Applicant can use the property for a commercial use that will not impact the surrounding residential properties.

• The extent to which the destruction of property values of applicant by the existing zoning promotes the health, safety, morals or general welfare of the public.

The existing zoning does not impact or promote health, safety, morals or general welfare of the public.

• The relative gain to the public as compared to the hardship imposed upon the individual property owner.

The neighborhood will benefit from having two residences constructed on the property rather than a commercial structure.

• The suitability of the subject property for the (presently) zoned purposes.

Lots 2 and 3 are not suitable for commercial buildings as that does not fit with the character of that residential block.

• The length of time the property has been vacant as zoned considered in the context of land development in the area in the vicinity of the subject property.

Applicant understands that the Vacant Parcels have been vacant for a considerable amount of time.

- **The care with which the County has undertaken to plan its land use development.**

The County has provided for residential use in this area.

- **The community need for the use proposed.**

The Community will benefit from having residential use on Lots 2 and 3 rather than commercial.

REZONING APPLICATION
36909 -36895 N. Stanton Point Road, Ingleside, IL 60041

EXHIBIT B
NARRATIVE

SCHEDULE 1
PHOTOGRAPHS OF PROPERTY







REZONING APPLICATION
36909 -36895 N. Stanton Point Road, Ingleside, IL 60041

EXHIBIT C
PLAT OF SURVEY

REZONING APPLICATION
36909 -36895 N. Stanton Point Road, Ingleside, IL 60041

EXHIBIT D
LAKE COUNTY AERIAL MAP

Lake County, Illinois



Lake County, Illinois



Map Printed on 7/8/2025



Tax Parcel
Information

Disclaimer: The selected feature may not occur anywhere in the current map extent. A Registered Land Surveyor should be consulted to determine the precise location of property boundaries on the ground. This map does not constitute a regulatory determination and is not a base for engineering design. This map is intended to be viewed and printed in color.

Lake County, Illinois



Map Printed on 7/8/2025

Tax Parcel Information



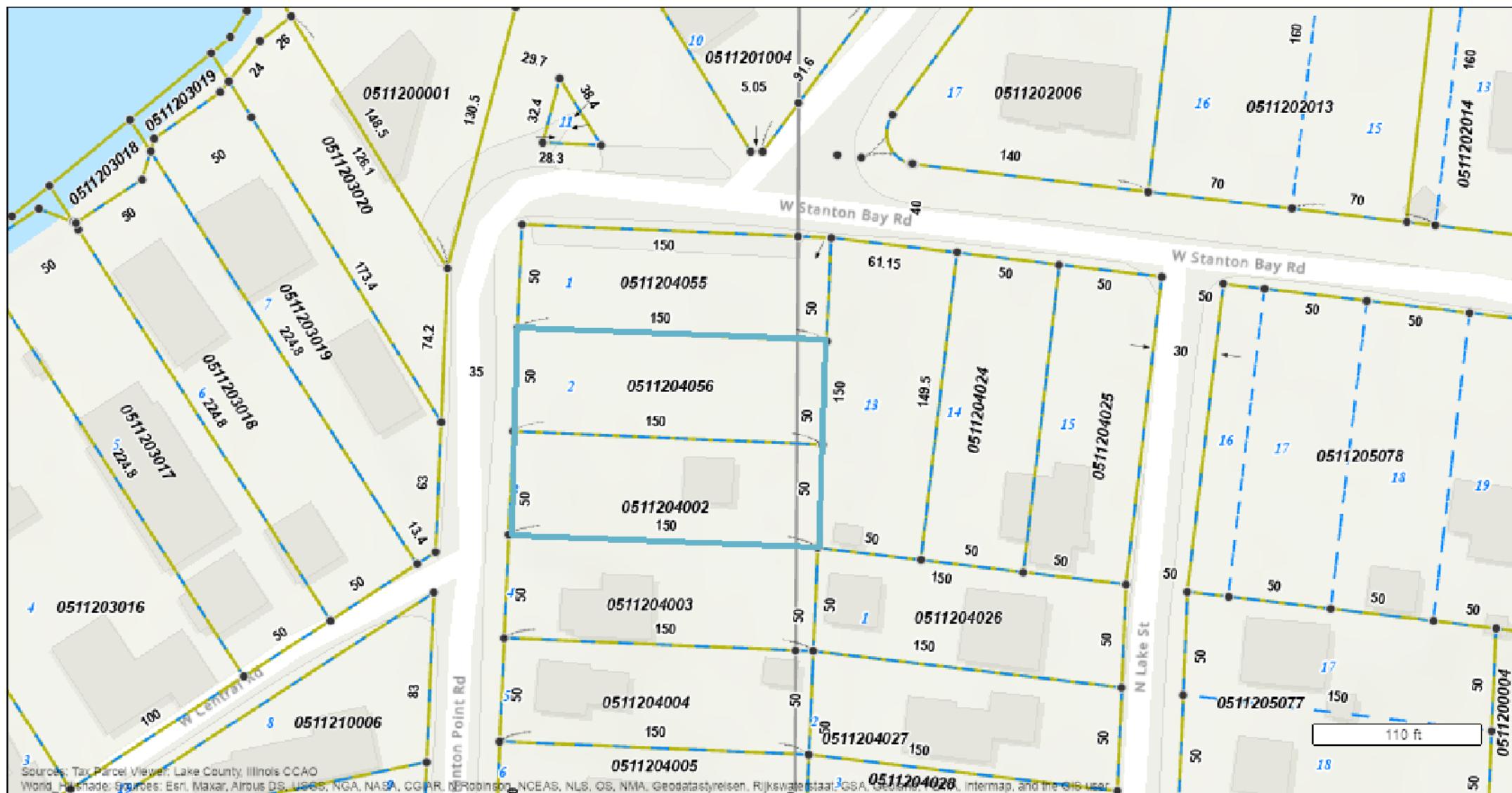
Lake County, Illinois

Disclaimer: The selected feature may not occur anywhere in the current map extent. A Registered Land Surveyor should be consulted to determine the precise location of property boundaries on the ground. This map does not constitute a regulatory determination and is not a base for engineering design. This map is intended to be viewed and printed in color.

REZONING APPLICATION
36909 -36895 N. Stanton Point Road, Ingleside, IL 60041

EXHIBIT E
LAKE COUNTY TAX PARCEL MAP

Lake County, Illinois



 Lake County

Map Printed on 10/29/2025

Lake County, Illinois

N

- Tax Parcels
- Survey and
- Historic Tax Map Images

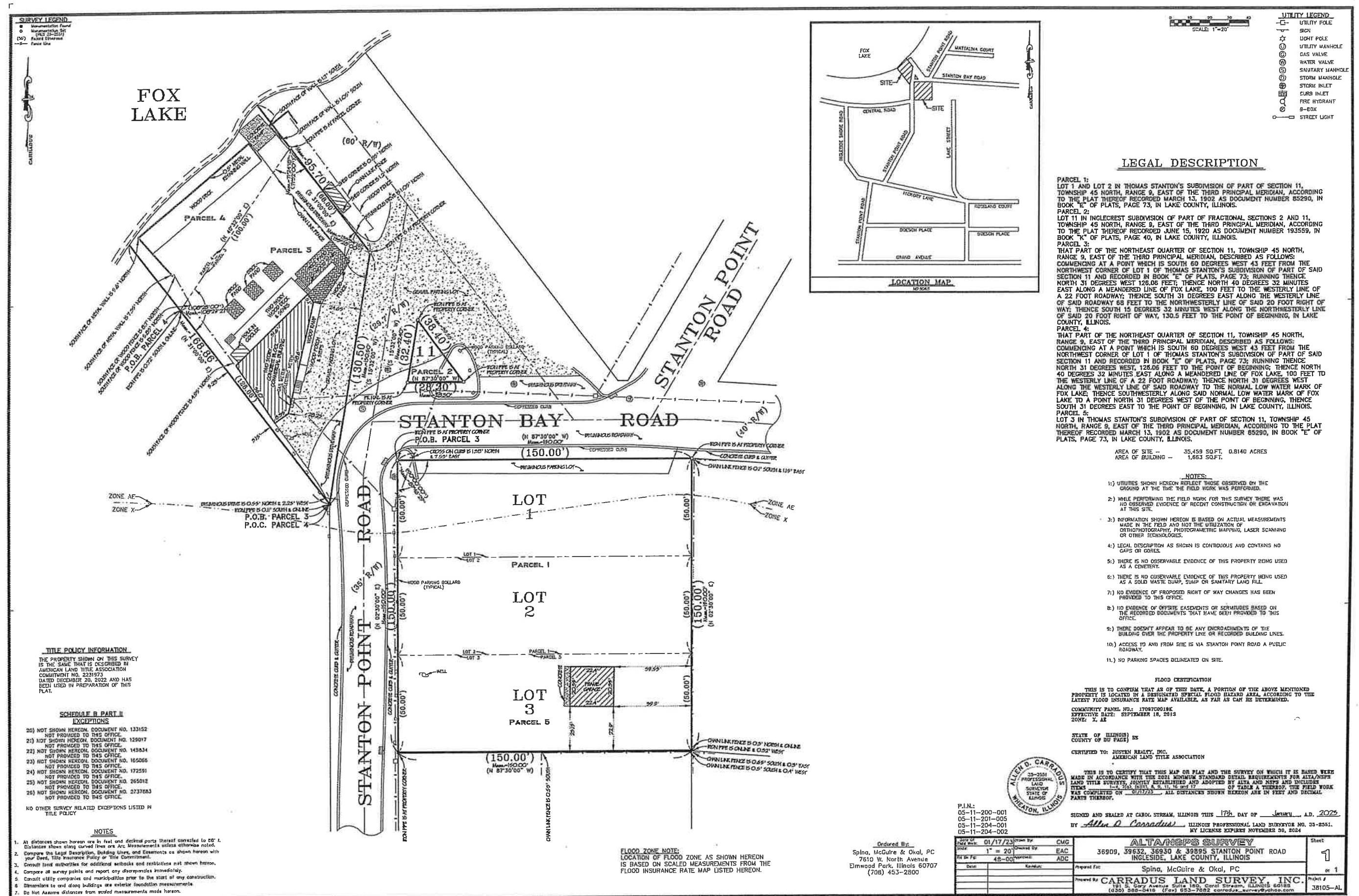
- Lots
- Parcel Points

Dimensioning

Dimension Arc
Left

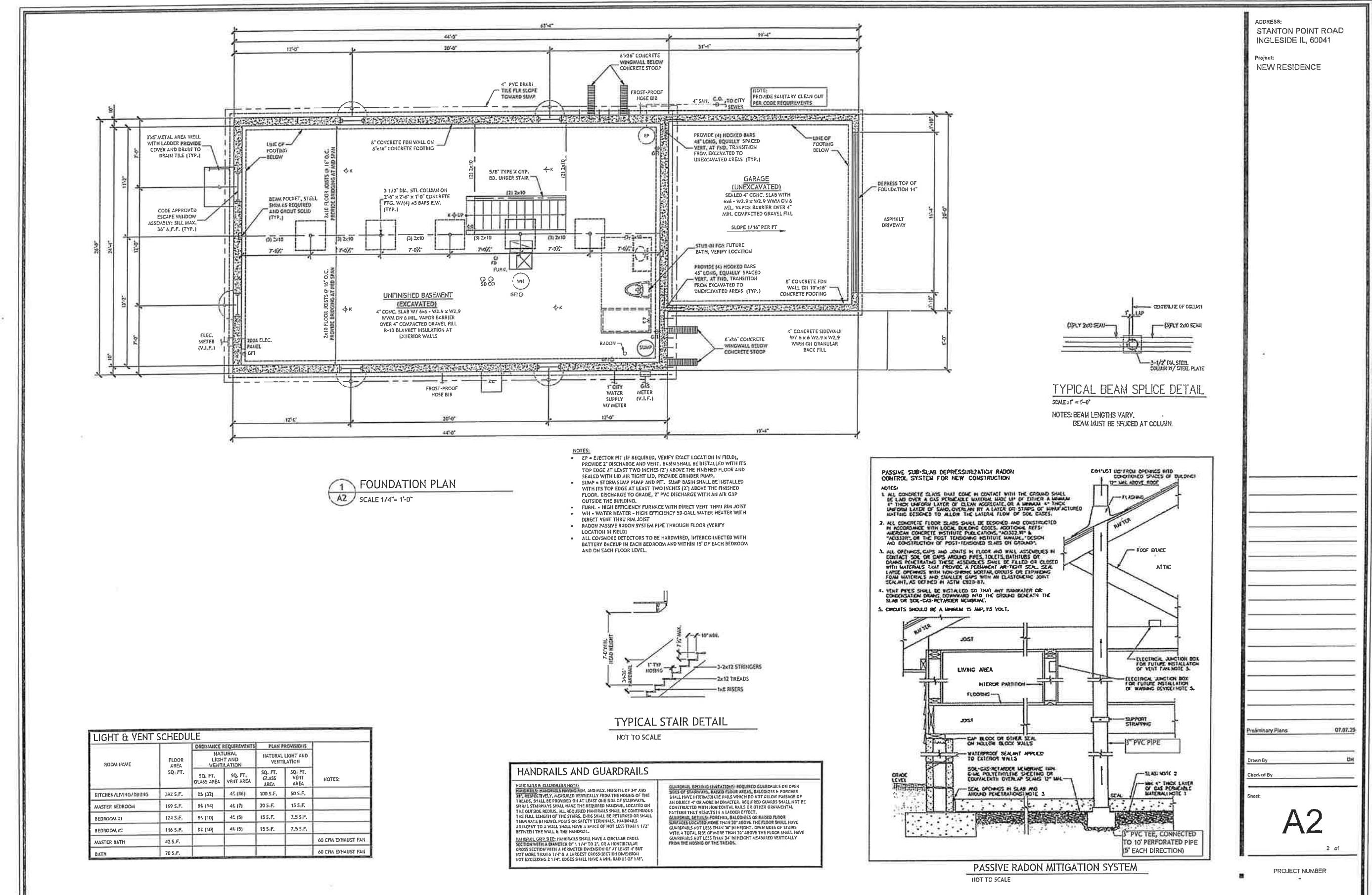
Dimension Arc
Right

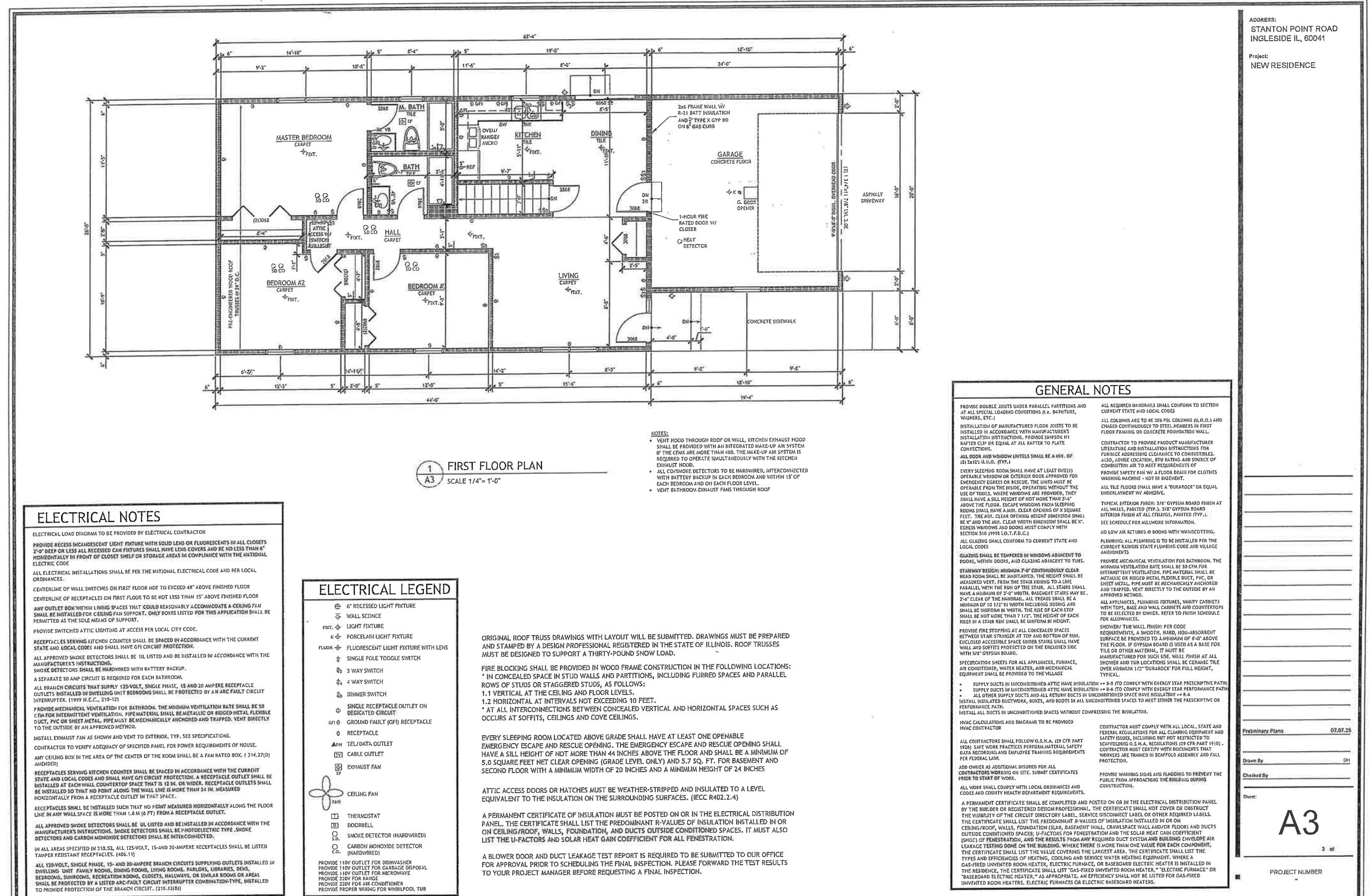
The selected feature may not occur anywhere in the current map extent. A Registered Land Surveyor should be consulted to determine the precise location of property boundaries on the ground. This map does not constitute a regulatory determination and is not a base for engineering design. This map is intended to be viewed and printed in color.

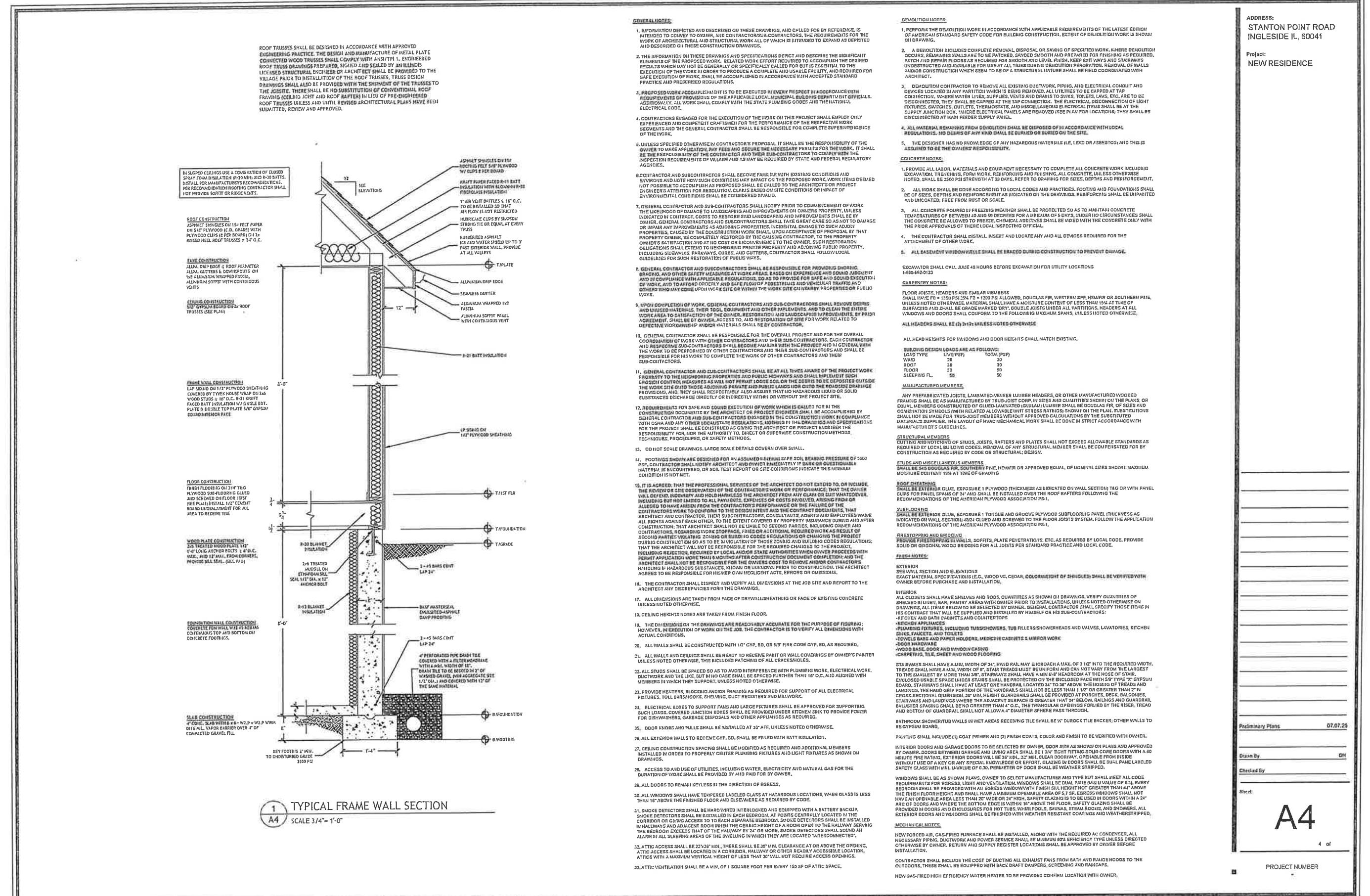


REZONING APPLICATION
36909 -36895 N. Stanton Point Road, Ingleside, IL 60041

EXHIBIT F
SITE PLAN







LEGAL DESCRIPTION

PARCEL 1, 177.4 ACRES, HAS SEPARATE DIMENSION OR PART OF 1400 FT. LINE 12, 177.4 ACRES, LINE 12, EAST OF THE 1400 FT. LINE 12, ACCORDING TO THE PLAT OF THE 1400 FT. LINE 12, 177.4 ACRES.

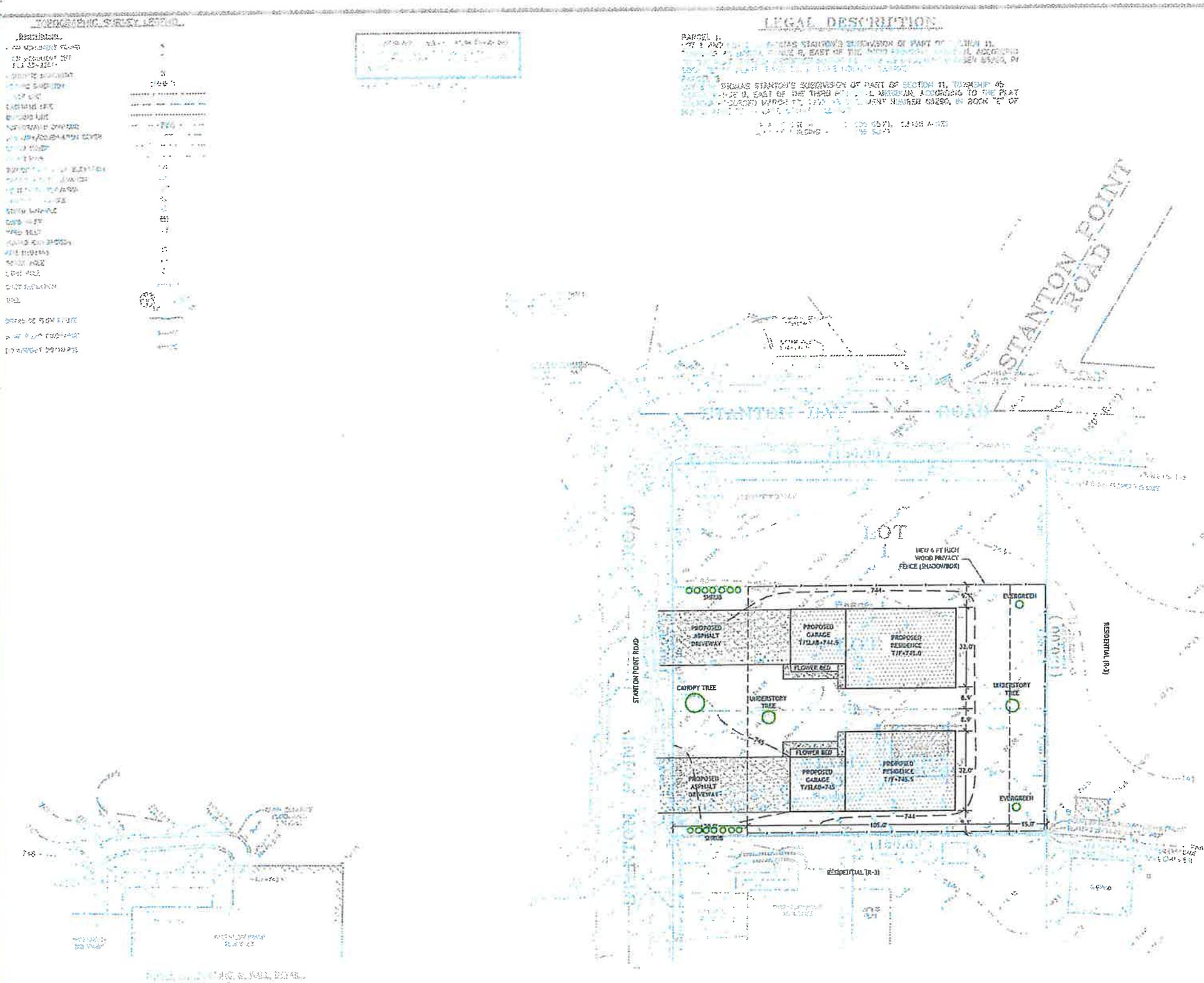
THOMAS STANTON'S SUBMISSION OF PART OF SECTION 11, TOWNSHIP 46
AND 47, EAST OF THE THIRD PMT. - 1 ACRE AND ACCORDING TO THE
PLAT MARKED BY THE 1/4 MILE POINTS AND 1/4 MILE BEHIND 63200 BY 2000 FT.

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PROPOSED SITE PLAN

SCALE: 1" = 20'

0



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179904

291,244

REZONING APPLICATION
36909 -36895 N. Stanton Point Road, Ingleside, IL 60041

EXHIBIT G
BUILDING PLANS

INDEX OF DRAWINGS

ARCHITECTURAL

- A1 ELEVATIONS
- A2 FOUNDATION PLAN AND DETAILS
- A3 FIRST FLOOR PLAN AND NOTES
- A3 WALL SECTION AND SPECIFICATIONS

CODE / ORDINANCE DATA

APPLICABLE CODES:

- 2012 IRC (INTERNATIONAL RESIDENTIAL CODE)
- 2012 INTERNATIONAL MECHANICAL CODE
- 2012 FUEL GAS CODE
- 2011 NATIONAL ELECTRICAL CODE
- CURRENT ILLINOIS STATE PLUMBING CODE
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE

(PREScriptive METHOD IN LIEU OF REScheck) R-19 WALLS,
R-49 CEILING, WINDOW U-FACTOR 0.30, R-10 BELOW GRADE

APPROVED PLANS SHALL BE ON SITE FOR ALL INSPECTIONS

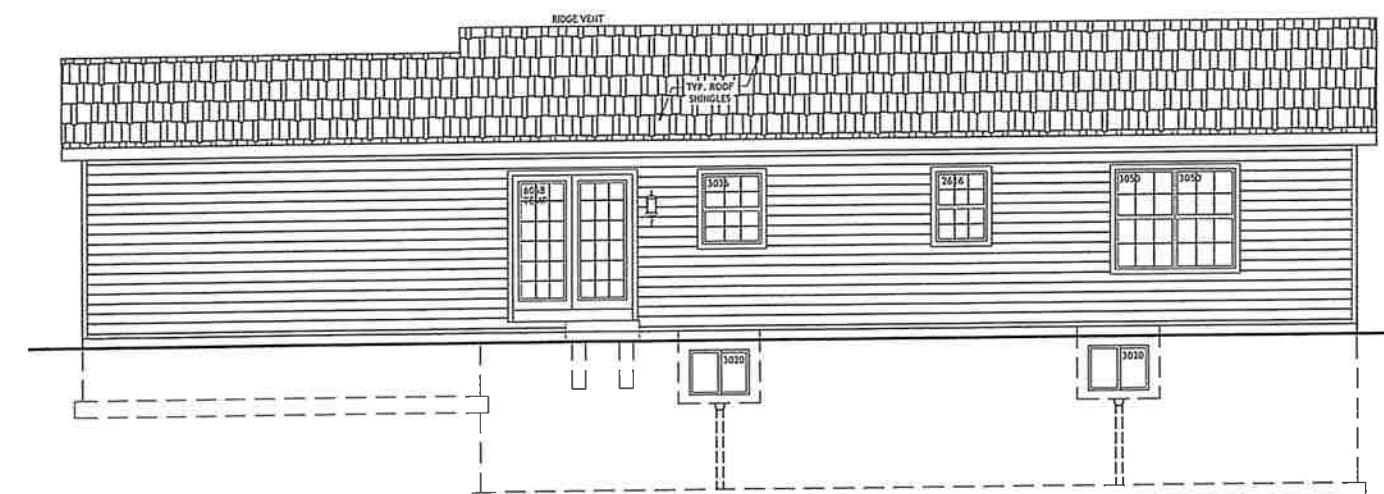
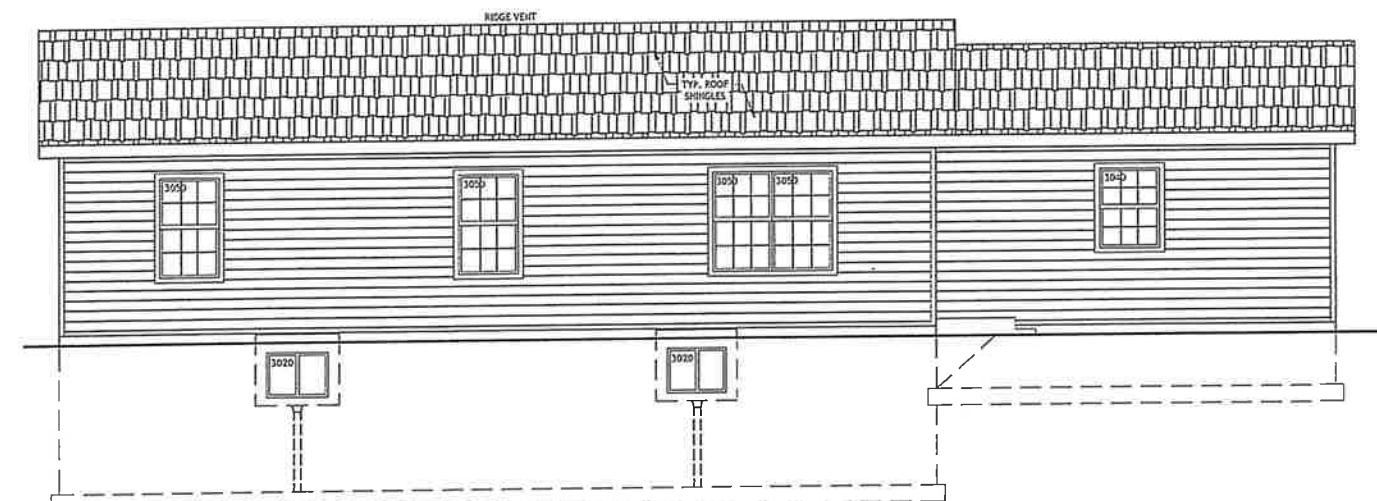
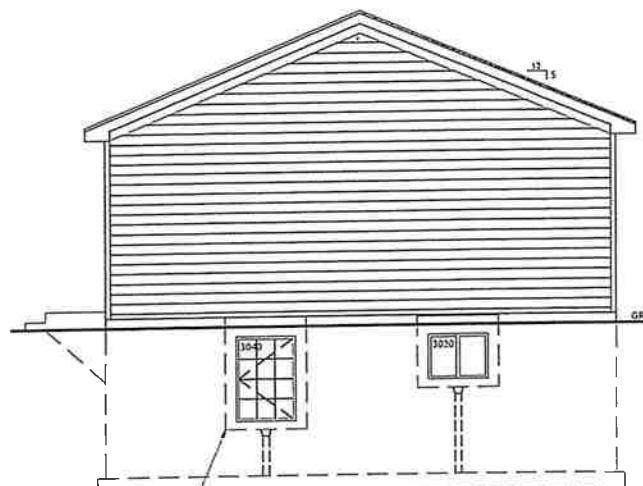
FLOOR LOADS = 50psf

ROOF LOAD = 30psf

WIND LOAD = 80 mph/ EXPOSURE B

ADDRESS:
STANTON POINT ROAD
INGLESIDE IL, 60041

Project:
NEW RESIDENCE



Preliminary Plans 07.07.25

Drawn By DH

Checked By

Sheet:

A1

1 of

PROJECT NUMBER



Zoning Board of Appeals
Case #RZON-001126-2025

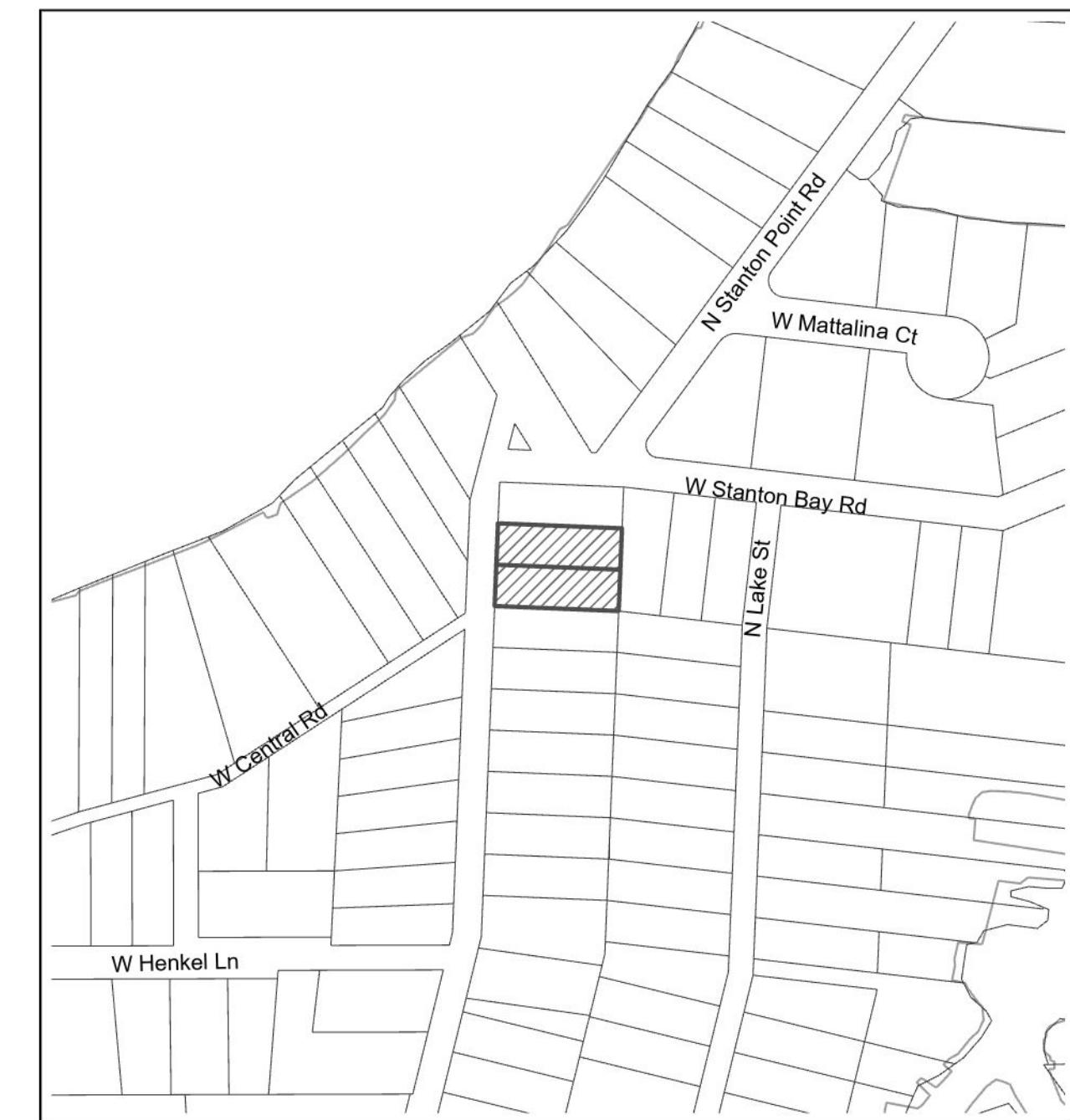
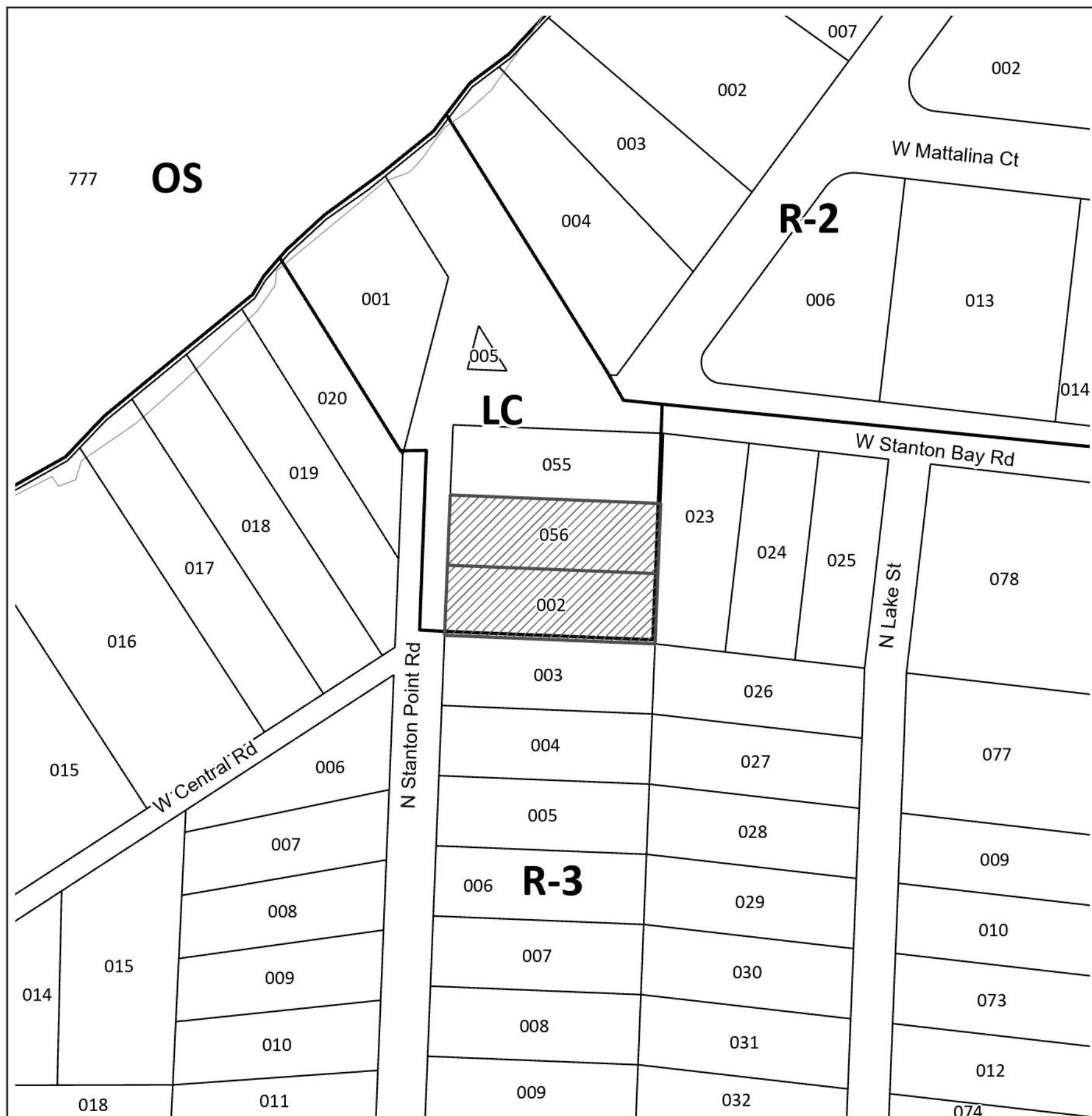


Incorporated Lake County



Subject Parcel

0 20 40 80 120 160 Feet



Zoning Board of Appeals
Case #RZON-001126-2025

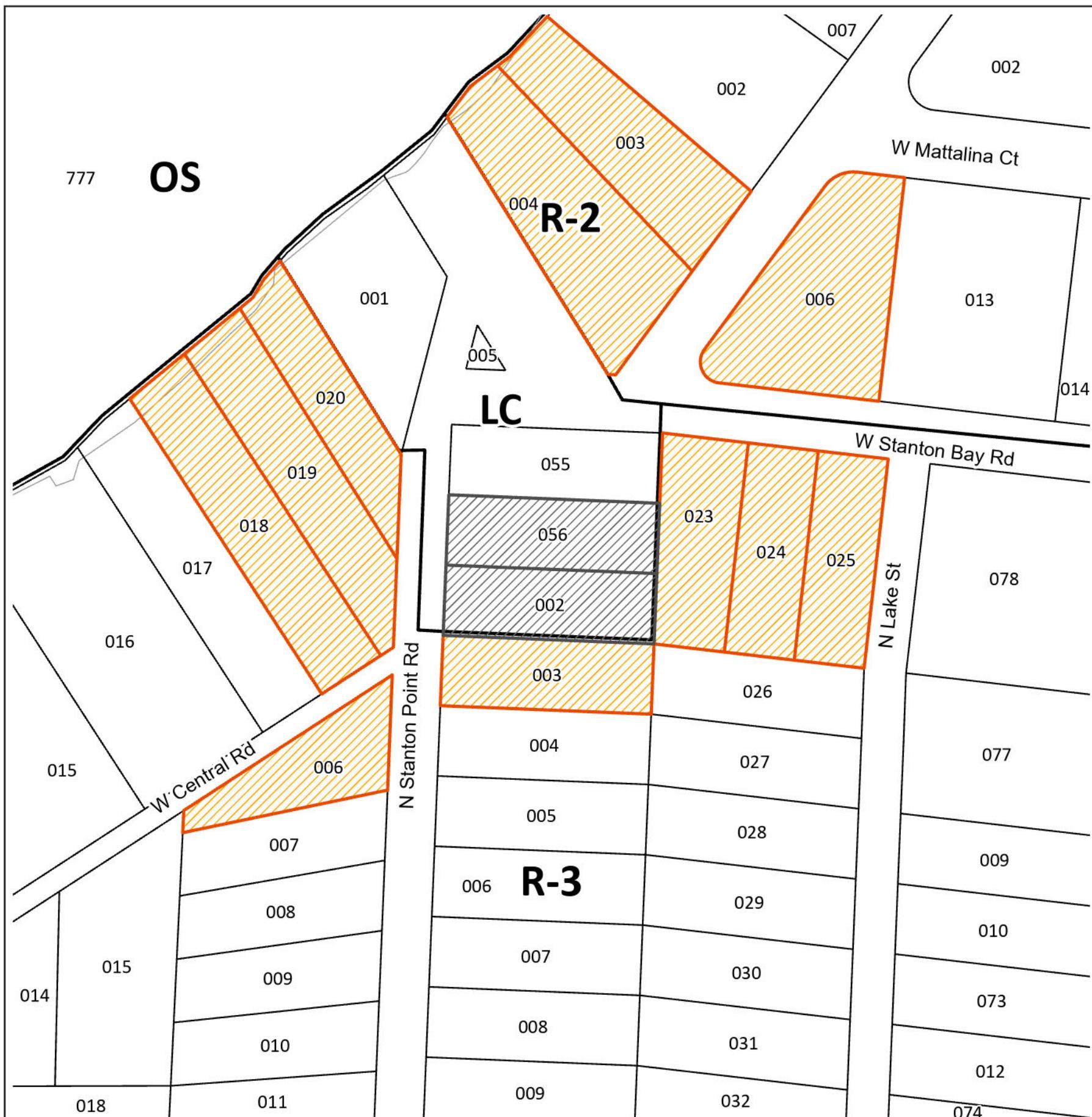


Incorporated Lake County

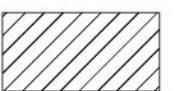


Subject Parcel

0 20 40 80 120 160 Feet



Incorporated Lake County



Subject Parcel



Mailing Parcel

0 20 40 80 120 160 Feet



Zoning Board of Appeals
Case #RZON-001126-2025