

LAKE COUNTY ZONING BOARD OF APPEALS

VARIATION APPLICATION

Applicant(s):
(please print)

James + Jennifer Cistaro
Owner(s)

Subject
Property:

Present Zoning:
Present Use:
Proposed Use:
PIN(s):
Address:

R-1
Existing Residence + Detached Garage
New garage
0127300011
39177 N. Jackson Dr
Spring Grove, IL 60081-9002

Legal description:
(see deed)

See Plat of Survey

Request:

The following variation(s) are requested:

1. Allow 13 Feet from street property to wall (12' to eave)
instead of 30 foot set back
2. _____
3. _____
4. _____

Explain why this variation(s) is necessary:

The variation would not put replacement garage closer
to street than existing permitted garage. The
variation is needed to allow for septic expansion
field in case of septic failure.

Approval Criteria: The Lake County Zoning Board of Appeals is required to make findings of fact on your request. You should "make your case" by explaining specifically how your proposed request relates to each of the three criteria below. Please refer to pages 8-9 of this packet for more information on how to address these criteria.

1. Exceptional conditions peculiar to the applicant's property.

Response:

Property has steep slope that limits location of garage, house, well and septic field location.

2. Practical difficulties or particular hardship in carrying out the strict letter of the regulation.

Response:

Strictly following the 30 foot from road setback would put garage in the septic field expansion location. This would cause particular hardship should the existing field fail. It would also place garage in steeper slope requiring a higher foundation.

3. Harmony with the general purpose and intent of the zoning regulations.

Response:

The requested variance is consistent with the general purpose of the set back regulations. It does not impede vehicle traffic. It conforms with the neighborhood characteristics, existing structures and use. There is an existing fence between garage and street.

COURT REPORTER AGREEMENT

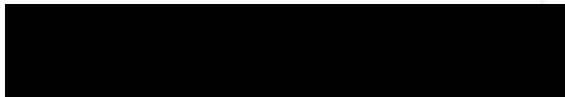
CHECK ONE OF THE FOLLOWING:



I authorize the County to act on my behalf to retain a Certified Shorthand Reporter to transcribe the public hearing and provide a transcript to the Zoning Board of Appeals. I further agree to pay the Reporter reasonable fees for his/her services. If I do not pay the Reporter and the County is invoiced and pays the Reporter, I agree to reimburse the County. If the County sues to obtain reimbursement, I agree to pay the County its reasonable attorney's fees in bringing suit and obtaining a judgment.



I will furnish a Certified Shorthand Reporter to transcribe the public hearing and provide a transcript to the Zoning Board of Appeals. I realize that the failure to do so may result in the continuation of the public hearing in which case I agree to reimburse the County for all additional expenses caused by such continuation.

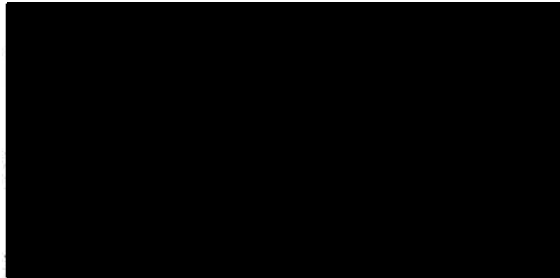


Signature

Please send the bill to:

James Cistaro

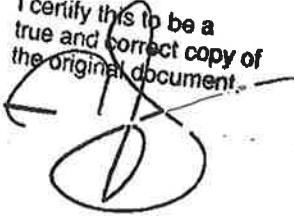
Print Name



Email

THIS SIGNED AGREEMENT MUST ACCOMPANY YOUR APPLICATION

I certify this to be a true and correct copy of the original document.



ATA / GMT Title Agency
175 E. Hawthorn Parkway, Suite 135
Vernon Hills, IL 60061
File # 21804754-IL

WARRANTY DEED

THE GRANTOR, THOMAS J. KROB, an unmarried person, of the City of Chicago, County of Cook, State of Illinois, for and in consideration of ten dollars, in hand paid, CONVEYS and WARRANTS to JAMES CISTARO and JENNIFER CISTARO, husband and wife, of 39173 N. Jackson Drive, Spring Grove, Illinois 60081, as joint tenants and not as tenants in common. all his interest in the following described Real Estate situated in the County of Lake in the State of Illinois, to wit:

THAT PART OF THE SOUTH FRACTIONAL HALF OF FRACTIONAL SECTION 27, TOWNSHIP 48 NORTH, RANGE 9, EAST OF THE 3RD P.M., DESCRIBED AS FOLLOWS, TO-WIT: COMMENCING AT THE MOST SOUTHERLY CORNER OF LOT 4 IN VINCENT JACKSON'S SUBDIVISION OF PART OF SAID SECTION 27, TOWNSHIP AND RANGE AFORESAID AS SHOWN ON PLAT THEREOF, RECORDED SEPTEMBER 23, 1899, AS DOCUMENT 75723, IN BOOK "E" OF PLATS; PAGE 18; THENCE SOUTH 48 DEGREES 34 MINUTES EAST 107.25 FEET; THENCE NORTH 41 DEGREES 26 MINUTES EAST 214.5 FEET TO THE SHORE OF GRASS LAKE; THENCE NORTH 48 DEGREES 34 MINUTES WEST 107.25 FEET ALONG THE SHORE OF SAID LAKE TO THE MOST EASTERLY CORNER OF SAID LOT 4; THENCE SOUTH 41 DEGREES 26 MINUTES WEST 214.5 FEET TO THE PLACE OF BEGINNING, IN LAKE COUNTY, ILLINOIS

SUBJECT TO: covenants, conditions and restrictions of record and building lines and easements, if any, provided they do not interfere with the current use and enjoyment of the Real Estate; and general real estate taxes not yet due and payable at the time of Closing

hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

PERMANENT INDEX NO. 01-27-300-011

ADDRESS OF PROPERTY: 39177 N. Jackson Dr. , Spring Grove, Illinois 60081

Dated this 24 day of October, 2021

[Redacted Signature] _____
ROB

STATE OF ILLINOIS)
) SS.
COUNTY OF COOK)

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY THOMAS J. KROB, an unmarried person, personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that he signed, sealed and delivered the said instrument as his free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and official seal, this 24 day of October, 2021 [Redacted Seal]

Commission expires _____

This instrument was prepared by: Elizabeth Safranski, 1100 E. Washington Street, Suite 201, Grayslake, Illinois 60030 [Redacted]

MAIL TO: Neil Anderson, Esq.
[Redacted]

Address of Property:
39177 N. Jackson Dr.
Spring Grove, Illinois 60081

SEND SUBSEQUENT TAX BILLS TO: James Cistaro
[Redacted]

**MARY ELLEN VANDERVENTER
LAKE COUNTY RECORDER OF DEEDS**


18 N. County Street
Waukegan, IL 60085

(847) 360-6673
(Fax) (847) 625-7200

PLAT ACT AFFIDAVIT

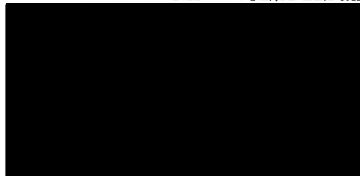
STATE OF ILLINOIS
COUNTY OF LAKE

DOCUMENT NO. _____

I, (Name) Thomas J. Krob, being duly sworn on oath, state that I reside at
 and that the attached deed is not in violation of the Plat Act, Ch. 765 ILCS 205/1.1(b), as the provision of this Act do not apply and no plat is required due to the following exception (Circle the number application to the attached deed):

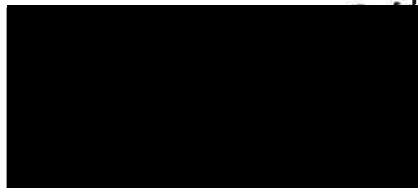
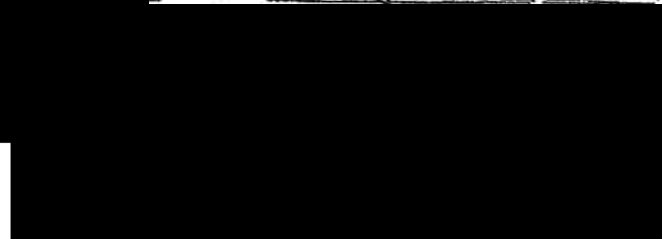
1. The division or subdivision of the land into parcels or tracts of five acres or more in size which does not involve any new streets or easements of access;
 2. The divisions of lots or blocks of less than one acre in any recorded subdivision which does not involve any new streets or easements of access;
 3. The sale or exchange of parcels of land between owners of adjoining and contiguous land;
 4. The conveyance of parcels of land or interests therein for use as right of way for railroads or other public utility facilities and other pipe lines which does not involve any new streets or easement of access;
 5. The conveyance of land owned by a railroad or other public utility which does not involve any new streets or easements of access;
 6. The conveyance of land for highway or other public purposes or grants or conveyances relating to the dedication of land for public use or instruments relating to the vacation of land impressed with a public use;
 7. Conveyances made to correct descriptions in prior conveyances;
 8. The sale or exchange of parcels or tracts of land following the division into no more than two parts of a particular parcel or tract of land existing on July 17, 1959 and not involving any new streets or easements of access;
 9. The sale of a single lot of less than five acres from a larger tract when a survey is made by a registered surveyor; provided, however, that this exemption shall not apply to the sale of any subsequent lots from the same larger tract of land as determined by the dimensions and configuration of the larger tract on October 1, 1973, and provided also that this exemption does not invalidate any local requirements applicable to the subdivision of land.
10. The conveyance of land does not involve any land division and is described in the same manner as title was taken by grantor(s).

AFFLIANT further states that this affidavit is made for the purpose of inducing the RECORDER OF LAKE COUNTY, ILLINOIS to accept the attached



SUBSCRIBED AND SWORN TO BEFORE ME THIS

DAY OF October, 2021

- LEGEND**
- N. = North
 - S. = South
 - E. = East
 - W. = West
 - N.W. = Northwest
 - N.E. = Northeast
 - S.E. = Southeast
 - S.W. = Southwest
 - P.O.B. = Point of Beginning
 - SQ. FT. = Square Feet
 - R.O.W. = Right of Way
 - Doc. = Document
 - Rec. = Recorded as
 - Meas. = Measured
 - T.F. = Top of Foundation
 - MIN. = Minimum
 - MAX. = Maximum

R.E. DECKER
(1933-1999)

R.G. PAVLETIC
P.L.S. #13-3261

Plat of Survey

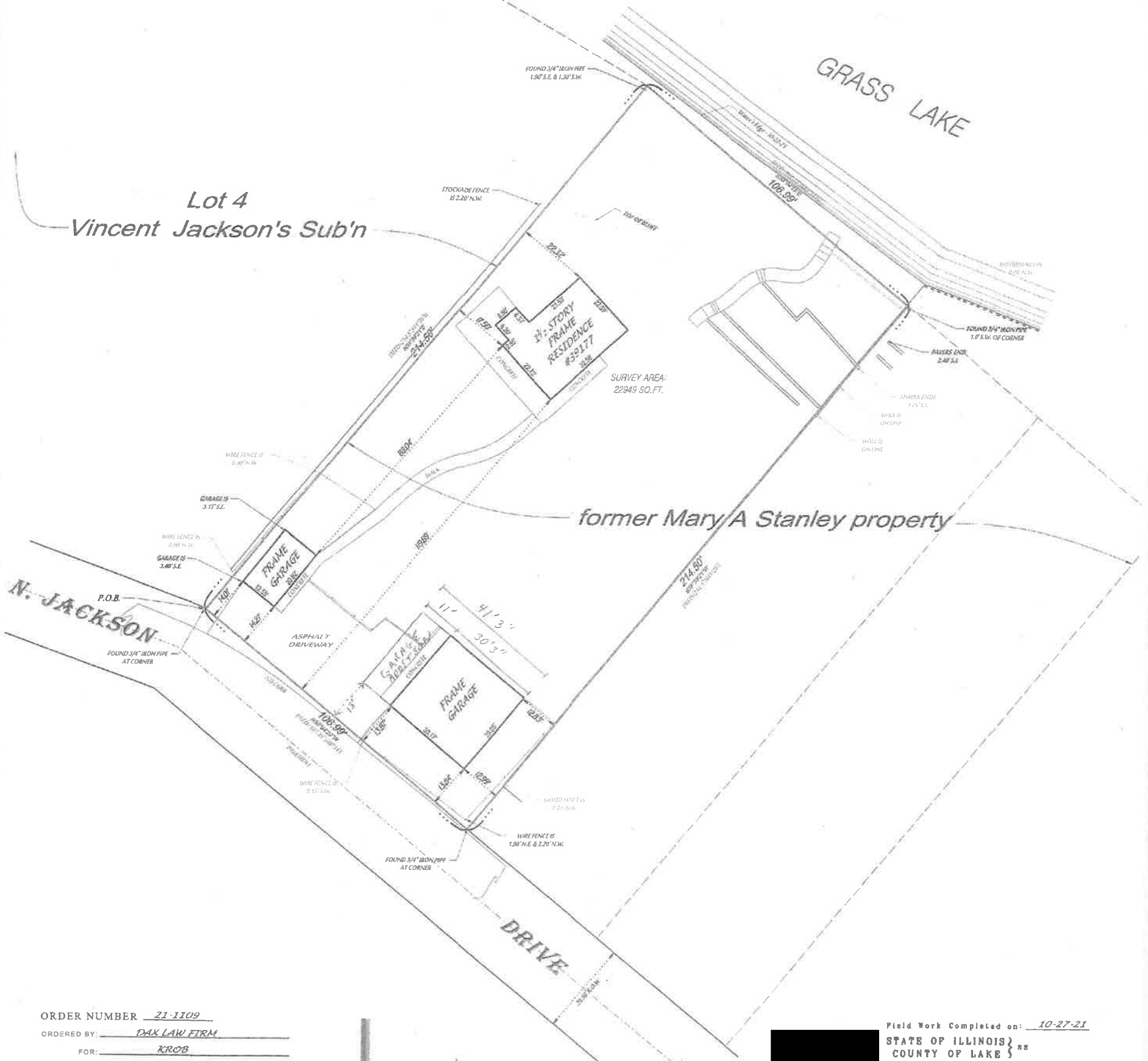
That part of the South fractional Half of fractional Section 27, Township 46 North, Range 9, East of the 3rd P.M., described as follows, to-wit: Commencing at the most Southerly corner of Lot 4 in Vincent Jackson's Subdivision of part of said Section 27, Township and Range aforesaid as shown on the plat thereof recorded September 23, 1899, as Document 75723, in Book "E" of Plats; page 18; thence South 48 degrees 34 minutes East, 107.25 feet; thence North 41 degrees 26 minutes East, 214.5 feet to the Shore of Grass Lake; thence North 48 degrees 34 minutes West, 107.25 feet along the Shore of said Lake to the most Easterly corner of said Lot 4; thence South 41 degrees 26 minutes West, 214.5 feet to the place of beginning, in Lake County, Illinois.

Commonly known as: 39177 N. JACKSON DRIVE SPRING GROVE, ILLINOIS.



The Meridian is assumed but reflects the record Subdivision or Deed, except when noted.

Scale 1" = 20 ft



ORDER NUMBER 21-1109
 ORDERED BY: DAX LAW FIRM
 FOR: KROB
 REVISIONS: _____



R E DECKER
 PROFESSIONAL LAND SURVEYORS PC
 333 W. PETERSON RD SUITE B
 LIBERTYVILLE, IL 60048
 TEL. 847-362-0091
 DeckerSurvey@gmail.com
 Website: DeckerSurvey.com

Field Work Completed on: 10-27-21
 STATE OF ILLINOIS } ss
 COUNTY OF LAKE }
 This Professional service conforms to the current Illinois minimum standards for a "Boundary Survey."

R. E. DECKER, P.C.
 By: _____

Compare the Description on this Plat with your Deed and Title; also compare all stakes to this Plat before building by them, and report any differences at once. Dimensions are shown in feet and decimal parts thereof. Refer to Title, Covenants or Building Department for additional Easements, Setbacks or Restrictions which may exist.

THIS PLAT IS A REPRODUCTION OF AN ORIGINAL PLAT

DIVISION 6 WOOD, PLASTICS, AND COMPOSITES
 6.1. ALL WOOD, PLASTIC, AND COMPOSITE MATERIALS SHALL BE KILN DRIED, LUMBER NO. 1, 2, OR 3, AND ALL OTHER MATERIALS SHALL BE AS SPECIFIED.
 6.2. PROVIDE ALL SEALERS BETWEEN FOUNDATION AND WALL PLATE. ALL PLATE SHALL BE WEATHER AND INSECT TREATED. ALL SILLS SHALL BE TREATED AND PROTECTED.
 6.3. ALL WOOD IN CONTACT WITH CONCRETE, CONCRETE BLOCK, OR SARTH SHALL BE WEATHER AND INSECT TREATED.
 6.4. TREATED CORNERS SHALL BE A MINIMUM OF THREE STUDS.
 6.5. PROVIDE A MINIMUM OF DOUBLE STUDS AT EACH JAMB.
 6.6. PROVIDE A MINIMUM OF DOUBLE CORNERS AT EACH JAMB'S OPENING GREATER THAN 3'-0".
 6.7. ALL ENGINEERED FLOOR JOISTS & BEAMS (E.T., I.V., PARALLAN, ETC.) SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

GENERAL NOTES:

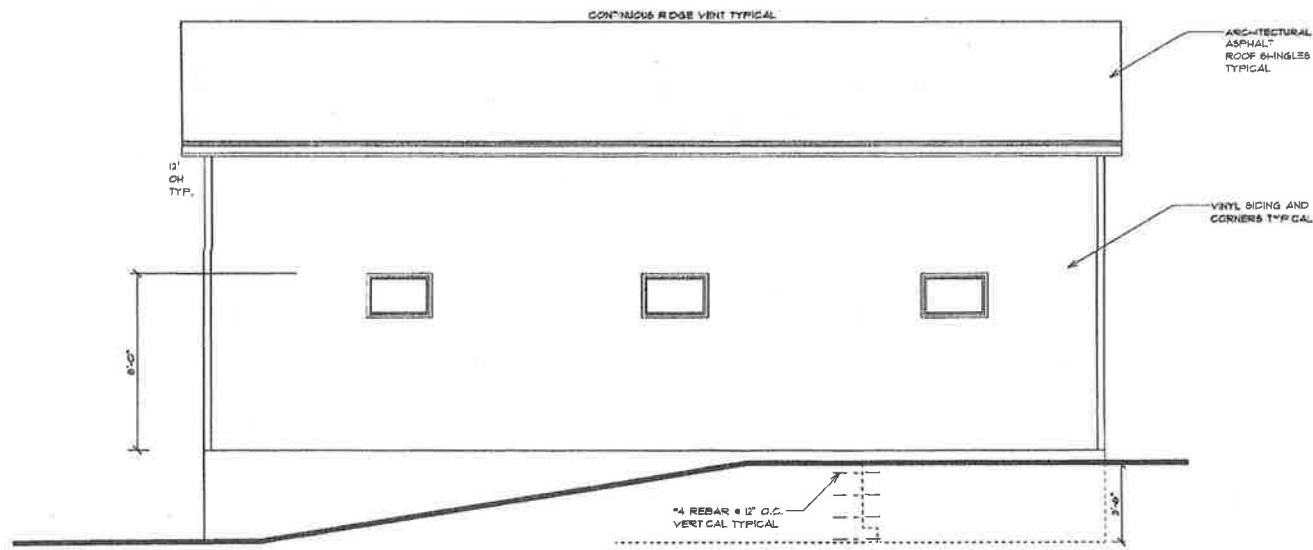
- All work shall be performed in accordance with all applicable local, state, federal & national codes and ordinances having jurisdiction.
- The contractor & its sub-contractors shall verify all dimensions. Report any discrepancies in the plans to the Architect before commencing with any work, or be responsible for same.
- DO NOT SCALE DRAWINGS. Verify dimensions & field conditions by each sub-contractor.
- All capacity, plumbing, hvac, electrical work is to be coordinated between the trades as part of their installation effort.
- Heating & air conditioning contractor shall provide heat gain & loss calculations & layout plans to the Builder and the Building Department for permit approval if required.
- Verify location of main duct & piping pipe with the Builder before commencing work.
- The Architect shall not have control or charge of & not be responsible for construction means, methods, techniques, sequences or procedures or safety precautions & programs, if construction with the work, or for the acts or omissions of the sub-contractors, or any other persons performing the work, or failure of any of them to carry out the work in accordance with the intent of the construction documents.
- Verify installation requirements & specifications of all items supplied by others before starting work related thereto.
- Do not start work if the sub-surfaces are defective. The commencement of sub-contractor's work shall constitute acceptance of sub-surfaces.
- Should unsuitable soil conditions arise, notify the Builder & Architect before proceeding with any further work.
- Bezevier to stock pile spoil material as directed by the Builder. Provide soil erector controls as required by the governing agency.
- Contact J.U.L.S. 48 hours before performing any underground work.
- Each sub-contractor shall obtain and provide necessary bonds, permits & inspections as required by the municipality, county, state or other agencies having jurisdiction.
- Verify location of electric, gas, water & sewer service with the Builder before installation.
- Current insurance certificates (ie. liability, worker's compensation, etc.) must be submitted to the Builder before proceeding with any work.

DESIGN LOAD CRITERIA

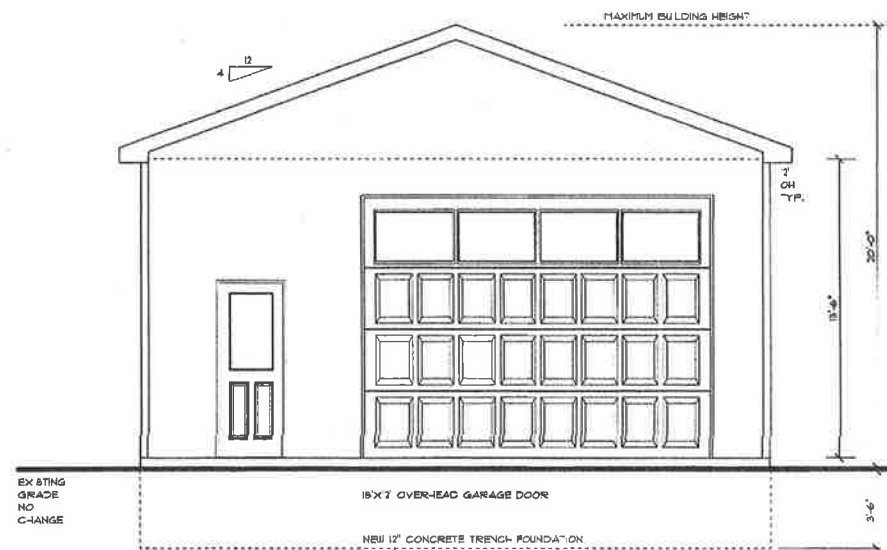
FLOOR	40' LL 10' DL ALL AREAS EXCEPT SLEEPING
FLOOR	30' LL 10' DL SLEEPING AREAS
WALL	40' P.F. OR ACTUAL LOAD
CEILING	20' LL 10' DL ROOF SLOPES OVER 3 IN 12
ROOF	30' LL ENDS 15' DL ALL SLOPES
BALCONY	60' LL 10' DL EXTERIOR

STRUCTURAL FRAMING LUMBER

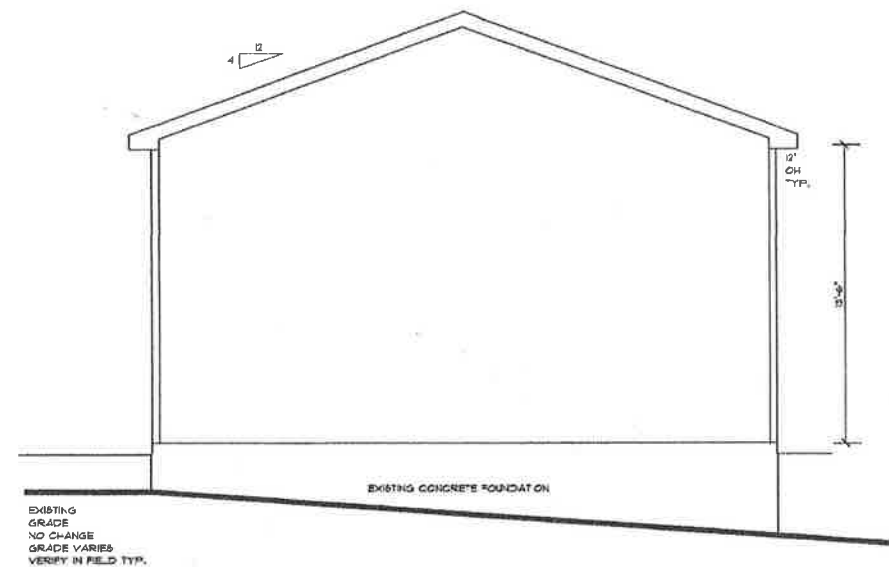
CEILING JOISTS, HEADER, AND RAFTERS IN GRADE	BARE VALUE
GRADE 2 SPECIES	84F CANADIAN, Fb 820, Fv 10 E 1.6x10'
GRADE 2 SPECIES	84F 11R CANADIAN, Fb 1170, Fv 10 E 1.6x10' FOR LENGTHS OVER 20'-0"
EXTERIOR DECK JOISTS	
GRADE 2 SPECIES	84F, Fb 1020, Fv 83.7, E 1.6x10'
TRUSS JOIST	MACILLAN OR EQUAL
1 3/4" x 11 7/8" x 14'	Fb 2600 Fb1, Fv 285 Fb1, E 1.6x10'
OPTIONAL FIRE ENGINEERED FLOOR TRUSSES DESIGNED BY MANUFACTURER	



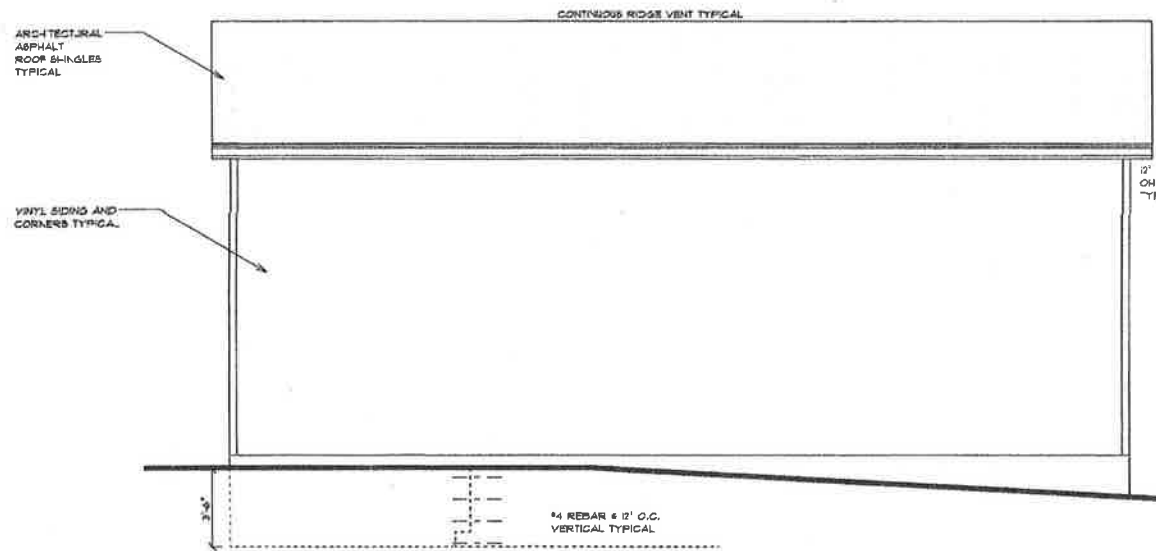
NORTH ELEVATION
SCALE 1/4" = 1'-0"



WEST ELEVATION
SCALE 1/4" = 1'-0"



EAST ELEVATION
SCALE 1/4" = 1'-0"



SOUTH ELEVATION
SCALE 1/4" = 1'-0"

ADOPTED CODES WITH APPLICABLE LAKE COUNTY AMENDMENTS:
 International Residential Code for One/Two Family Dwelling, 2012 Edition
 Illinois State Plumbing Code, current
 National Electrical Code, 2011 Edition
 Illinois Energy Conservation Code
 International Fuel and Gas Code 2012 Edition
 International Mechanical Code 2012 Edition

DETACHED GARAGE FOR EXISTING RESIDENCE
 3911T N JACKSON DRIVE SPRING GROVE IL

SHAWN PURNELL, ARCHITECT
 20 HAWLEY COURT, GRAYS LAKE ILLINOIS 60090
 PHONE: 847.989.3772 FAX: 847.707.1611
 SHAWN@SHAWNURNELL.COM

