

Exhibit B-4
Pattern Book

(large documents available at Village Hall)

THEALTERGROUP^{LTD}

5500 West Howard Street
Skokie, Illinois 60077

TEL (847) 676-4300

FAX (847) 676-4303

NET altergroup.com

September 21, 2009

VIA EMAIL and US MAIL



Mr. Kirk Smith
Village Planner
Village of Grayslake
10 S. Seymour
Grayslake, IL 60030

Dear Kirk:

Attached per your request, please find a list itemizing all of the substantive changes that have been agreed to by the Village, the County and The Alter Group with respect to the Cornerstone, A New Beginning: Project Vision and Pattern Book, dated December 15, 2008.

All of the items will be incorporated into the final version and release of the Pattern Book upon approval of and adoption by the Village Board.

If you have any questions, please call me at 847.568.5911.

Sincerely,

A handwritten signature in black ink, appearing to read "Margaret Blum", with a long, sweeping horizontal line extending to the right.

Margaret Blum
Vice President

MLB:cw
Encl.

CORNERSTONE, A NEW BEGINNING: PROJECT VISION AND PATTERN BOOK - FINAL REVISIONS

COVER PAGE:

Add: ©THE ALTER GROUP LTD 2009 & FINAL REVISION DATE

I. PROJECT OVERVIEW – B. Development Location & Environs

PAGE 2:

Revised map to be added

I. PROJECT OVERVIEW – C. Cornerstone Introduction and Vision

PAGE 4:

4. Provide approximately 600,000 sf of retail and lifestyle shopping and entertainment opportunities.

I. PROJECT OVERVIEW – E. Conceptual Master Plan

PAGE 6:

Note under picture: Note: Acreeges are approximate and market conditions may change.

I. PROJECT OVERVIEW – F. Roads and Site Circulation

PAGE 7:

Note above main picture: .5 miles to Village of Grayslake Metra station

Last sentence: Traffic signals and controls shall be provided as required by LCDOT and IDOT.

II. LANDSCAPING AND LANDSCAPE ARCHITECTURE – A. General Overview

PAGE 9:

2. Conserve water and energy by use of carefully controlled irrigation, use of hardy and tolerant plants, and limiting lawn mowing by planting slow growing grasses and meadow or prairie grasses, and minimal use of Blue Grass lawn in areas where a manicured appearance or edge is desirable.

II. LANDSCAPING AND LANDSCAPE ARCHITECTURE – B. Ponds and Open Space Landscape

PAGE 10:

Top picture: Example of site landscaping in pond area with connected trail where possible.

II. LANDSCAPING AND LANDSCAPE ARCHITECTURE – D. Interior Roadways - Residential

PAGE 22:

Delete last sentence of first paragraph.

III. SITE LANDSCAPING AND DESIGN – C. Retail/Commercial

PAGE 31:

Last paragraph, last sentence: All trash areas shall be enclosed with materials that coordinate and complement the main structure. Trash enclosures shall be adequately screened via landscaping, where possible.

IV. ARCHITECTURAL DESIGN STANDARDS – A. General Overview

PAGE 39:

Bullet 1: The architecture for all structures should be well proportioned and shall be designed with an emphasis on the street-side of buildings but with a continuation of materials, colors, detail and trim on the balance.

Bullet 4: Architectural styles will be consistent with commonly recognized styles of high quality, as is found throughout the Village of Grayslake, and the Midwest regional area and in keeping with the Master Developer's and Village's vision.

Note: These designs are intended to be submitted to the Master Developer and Village for approval.

IV. ARCHITECTURAL DESIGN STANDARDS – B. Office/R&D/Industrial

PAGE 40:

1. GENERAL FAÇADE DESIGN

Bullet 12: Mansard roofs can be part of the architectural design as long as the materials, construction and the design enhance the overall building structure, and are consistent with the architectural style chosen.

Bullet 14: Standing seam roofs as the primary roofs are not encouraged unless as depicted in a specific architectural style, consistent with the use of that type of material.

Bullet 19: Buildings should be designed with foundations below grade. If any foundation appears more than 8" above grade it should be finished concrete, or veneered in an appropriate finish, consistent with other façade finishes.

Bullet 20: All pre-cast panels should be pre-finished or poured in place concrete, should have patterns and details, and be stained. Panels with faux finish, i.e. brick/stone, are encouraged.

PAGE 41:

2. EXTERIOR BUILDING MATERIALS

Bullet 2: The use of concrete as a front primary façade material will only be allowed if design includes significant architectural features of color and texture, or faux finish.

Bullet 6: Exposed framing of attached structures, unless integral to the design and architectural style chosen, or designed as an exposed element (i.e., heavy timber or finished metal), shall not be allowed.

Bullet 9: The use of EIFS as a primary façade material will not be allowed unless approved by the Master Developer and Village.

Bullet 14: Pre-cast concrete panels that are not stained or are un-textured are prohibited, unless samples are submitted to the Village and the Master Developer for approval.

Bullet 17: As new materials become available and/or are developed in the market place, these materials may be allowed upon approval of the Master Developer and Village for their specific use, if consistent with the proposed architectural style.

PAGE 44:

6. FENESTRATION, GLAZING AND WINDOWS, *Bullet 9:* Non-transparent material, such as a gloss block, is not appropriate as fenestration, but may be used as an architectural element if appropriate to the proposed style. It should not be a dominant feature unless approved by the Master Developer and Village.

Bullet 10: Window and door frames shall be vinyl-cased, wood, steel, aluminum or vinyl frame, and be consistent throughout the design.

Bullet 14: Glass color will be in harmony with the colors used on the building, and consistent with the architectural style selected.

Bullet 16: Walls that do not have windows will be required to use berming and/or landscaping of various types or sizes to break up the impact of a blank wall. The use of building copings, wall ribbons, wall details and base designs may be also be required to minimize the visual impact of large blank walls.

Bullet 17: Single-story and multi-story office buildings should incorporate the minimum use of glass as follows: 30% of the façade wall areas. Deviation from this standard must be approved by the Master Developer and Village.

PAGE 45:

8. BUILDING LIGHTING, *new last bullet:* Lighting to be placed and focused in such a way as to minimize extension of any light beyond site boundaries onto residential properties.

IV. ARCHITECTURAL DESIGN STANDARDS – C. Retail/Commercial

PAGE 46:

DESIGN STANDARDS: RETAIL / COMMERCIAL

Large Format Retailer: Any portion of the exterior building shell to be designed and constructed by tenant and not the Master Developer.

1. GENERAL FAÇADE DESIGN, *Bullet 1:* Consistent architectural style will be required on all buildings. Architectural feature, treatment, and their level of intensity, shall be consistent with the architectural style chosen. The emphasis of design will be on the street and main façade sides and the continuation of a specified level of similar materials, colors and trim on the balance.

Bullet 4: Consideration should be given to the architecture of surrounding buildings and complementary building detail, elements, trim or architectural style should be incorporated.

Bullet 5: Building windows should be placed at consistent height unless varying window heights are used as an architectural element for design purposes, and match the chosen architectural style. Tenant storefront design zone heights in multi-tenant buildings are to be set by the Landlord and are encouraged to be uniform in height above the finished floor within any one building. Larger format retailer's store window heights will vary as appropriate to the design.

Bullet 7: Mansard roofs can be part of the architectural design as long as the materials, construction and the design enhance the overall building structure and they are consistent with the architectural style selected. Sightline studies shall be completed to ensure the rear of the mansard roof cannot be seen from within the site boundaries.

Bullet 9: The appearance of flat roofs should be avoided. Flat roofs shall be allowed provided the building design includes changes in façade height along the building length. The use of hipped, gable, gambrel or other roof forms and detailed roof parapets are encouraged.

PAGE 47:

1. GENERAL FAÇADE DESIGN (cont'd), Bullet 1: Primary entrances shall be located at the main pedestrian front or main façade of the building, unless off-street parking dictates otherwise. Building presence, from the main pedestrian street, shall be given priority as an important component of façade design.

Bullet 3: In multi-tenant buildings, architectural design should include variations of architectural components and details to break up a monotonous structure, which may also define individual building bays or tenants.

Bullet 4: Buildings should be designed with foundations below grade. If any foundation appears more than 8" above grade it should be finished concrete, or covered with a veneer consistent with façade materials.

Bullet 5: Within retail/commercial developments, the ground floor of the main pedestrian façade shall be 80% transparent in character, while the balance can remain opaque providing its architectural features and treatments are consistent with the level of intensity required for the chosen architectural style. Large format retailers shall be a minimum 30% transparent façade on their main pedestrian facades. The upper story main façade shall have a lower percentage of façade fenestration.

Bullet 6: Building façade heights shall vary between retail tenants over 30,000 sf included together within one building.

PAGE 48:

2. EXTERIOR BUILDING MATERIALS, *Bullet 3:* Buildings should be designed with foundations below grade. Any foundation which appears more than 8" above grade should be finished concrete, or clad in a veneer consistent with façade materials.

Bullet 4: All pre-cast panels should be pre-finished or stained with additional design elements poured as part of the façade. The repetition of design elements, with lesser intensity on the balance of the facades, is acceptable.

PAGE 50:

4. BUILDING FEATURES AND DETAILS, *Bullet 6:* The "frieze" or "sign band" is the horizontal segment of the building located above the storefront or display window and below the second floor windows or façade trim or building cornice. Friezes shall be consistent height above the finished floor within a multi-tenant building, except those holding more than one large format retailer. Friezes and related details shall be designed to fit the chosen architectural style.

5. ATTACHED STRUCTURES AND APPENTICES, *Bullet 1:* Use of awnings, canopies or other design features are required to enhance main facades, in particular at building entries, as dictated by the architectural style chosen. These elements are also highly encouraged along side or rear facades to add depth and detail to the building façade. The level of design intensity and detailing of the awnings or canopies shall complement the architectural style and shall provide weather protection, particularly at the building entrance. Awning and canopy designs can vary per tenant within a multi-tenant building, but should be compatible and in harmony with the building design.

PAGE 51:

6. FENESTRATION, GLAZING AND WINDOWS, *Bullet 2:* Small-sized windows should be used only when characteristic of the basic architectural style.

Bullet 3: Non-transparent materials, such as glass block, are not appropriate for fenestration, but may be used as an architectural element if appropriate to the proposed architectural style. They shall not be a dominant feature i.e. no more than 5% of the façade can incorporate such materials.

PAGE 52:

8. BUILDING LIGHTING, 2 new bullets:

Lighting to be placed and focused in such a way as to minimize extension of any light beyond site boundaries onto residential properties.

Building lighting, if used to light parking areas, shall meet all Village Lighting Ordinance requirements, except as modified by this Pattern Book.

PAGE 53:

9. BUILDING SYSTEMS, *Bullet 5:* Ground equipment screening can be fencing (excluding chain link), architectural features and/or...

10. ADDITIONAL DESIGN STANDARDS – SPECIFIC USES, RESTAURANTS, v. All outdoor dining areas must be in compliance with Village ordinances and approved by the Master Developer and Village.

10.viii. Outdoor dining seating areas may incorporate music or sound systems providing the decibel level does not exceed 65 dB, and the installation meets Village requirements.

10.x. Outdoor dining serving alcohol shall be secure and controlled in accordance with Village requirements.

PAGE 54:

FUEL STATIONS, *Bullet 5:* i. Allow for direct vehicular access from adjacent streets, per municipal engineering standards, or from internal driveways.

Bullet 5: ii. Fuel pump station buildings, appendages and fuel pump canopies are subject to the same Pattern Book architectural guidelines as the retail buildings. They shall be detailed to include architectural details, design elements, materials and colors in keeping with each other and adjacent structures within a 200' radius. Canopies shall be compatible and consistent with stations buildings.

Bullet 5: iv. Any deviation from the above standards must be approved by the Master Developer and Village for its specific use.

Delete photo bottom right of page.

IV. ARCHITECTURAL DESIGN STANDARDS – D. Residential

PAGE 55:

DESIGN STANDARDS, *Paragraph 1, Sentence 2:* Traditional architectural styles found in the community include, but are not limited to, Craftsman, Prairie/Four Square, Farmhouse, Tudor, Shingle, Cape Cod, Arts & Crafts, Victorian, Georgian, Classical, and other styles that recognize a traditional Midwestern vernacular.

Paragraph 3: It is encouraged that traditional character be established which is consistent with recognized traditional styles and Midwest vernacular.

DESIGN STANDARDS: TOWNHOMES, ROW HOMES AND AUTO COURTS

ELEVATIONS, 1st sentence: Attached single-family communities shall either mix styles within an individual neighborhood or create an entire neighborhood around a specific architectural character or (theme).

3rd sentence: Two car garages are a minimum requirement and special attention to de-emphasize or screen the garage is mandatory.

Minimum Requirements:

- 2. Interpretations of traditional characteristics as described above.**
- 3. Blended use of a variety of traditional architectural themes, materials and design components.**
- 4. Consistency of architectural style, material use and architectural detail on all facades facing public right of ways, including corner lots.**

SCALE AND MASSING, 3rd sentence: The incorporation of animated roof lines, well defined unit entries, usable covered porches, bay windows and other residentially scaled elements, attached structures and appendices are critical to the frontal mass and impact of the building.

Design Considerations:

- 1. Overall building mass scaled down through varying roof heights, styles and shapes.**
- 2. Appropriate sense of scale and balance within a structure's components.**
- 5. Scale and massing consistent with the architectural style chosen.**
- 6. Scale and massing consistent on all facades of a structure.**

Note: These designs are to be submitted to the Master Developer and Village for approval.

PAGE 56:

EXTERIOR COLORS

Color packages shall be developed with consideration for variety and compatibility within each neighborhood as well as throughout the entire community. Colors shall be consistent with traditional Village and Midwest vernacular.

EXTERIOR MATERIALS & FINISHES, Paragraph 2: It is required that portions of front elevations incorporate the use of one or more of the following natural materials: wood siding and trim (fiber cement siding may be included if the same as wood in appearance), brick, or stone (cultured stone may be included if the same as stone in appearance). Other materials, including synthetic stucco (EIFS), aluminum siding, vinyl siding and other composites, shall be acceptable as primary elements provided that a portion of the elevation include natural materials as described here

in. The percentage, type and detail of natural material included shall be dictated by the Architectural Style proposed and as approved by the Master Developer. Additionally, synthetic stucco (EIFS) shall be limited in use to a secondary element, unless designed to appear as natural brick or stone material.

Paragraph 3, 1st sentence: Corner boards, window and door trims, shutters band boards, and moldings shall be used to differentiate and enhance each individual styled elevation.

4th sentence: Gutters, downspouts and splash blocks are required and shall be included with each elevation design, in a style compatible with the architecture of the structure.

Required:

1. Corner boards, trim and door/window surrounds on all facades.
2. Side and rear facades fully exposed to public ways or R.O.W. shall include the same materials and design used on the front façade for at least 30% of the surface.

EXTERIOR COLORS, 2nd sentence: Colors shall be consistent with traditional Village and Midwest vernacular.

Required:

4. Subtle third color accents, in traditional colors, appropriate for the style chosen.

FRONT ENTRY, SERVICE, PATIO & GARAGE DOORS, 4th sentence: Muntins, sidelites, special shades and window details are encouraged where appropriate for the style chosen.

Other appropriate features include:

7. Pediments, entablatures, and decorative archways where appropriate.

ROOF ACCESSORIES, GUTTERS AND DOWNSPOUTS: It is required that all exposed, unpainted metal materials are hidden or muted from the public eye whenever possible. Exposed flues and roof vents shall be located on the back slope of roofs. Gutters and downspouts shall match or be compatible with trim colors.

CHIMNEYS: Chimneys shall be compatible with the architectural style of the building to ensure consistency in design. Through-roof chimney projections shall be clad of the same predominant siding material on the structure. Chimneys on facades shall match the façade material selection and design, or be all masonry.

Note: These designs are to be submitted to the Master Developer and Village for approval.

DESIGN STANDARDS: CONDOMINIUMS AND APARTMENTS

ELEVATIONS, 1st sentence: Multi-family communities shall either mix styles within an individual neighborhood or create an entire neighborhood around a specific architectural character (or theme).

Minimum Requirements:

2. Interpretations of traditional characteristics as described above.
3. Blended use of a variety of traditional architectural themes, materials and design components.
4. Consistency of architectural style, material use and architectural detail on all facades.

SCALE AND MASSING, 3rd sentence: The incorporation of animated roof lines, well defined unit entries, usable covered porches, bay windows and other residentially scaled elements, attached structures and appentices are critical to the frontal mass and impact of the building.

Design Considerations:

1. Overall building mass scaled down through varying roof height, styles and shapes.
2. Appropriate sense of scale and balance within a structure's components.
3. Architectural elements such as dormer, bay window projections and dominant entry elements.
4. Visual interest and relief in elevation design shall be created via variations in roof line, massing and detail.
5. Scale and massing consistent with the architectural style chosen.

EXTERIOR MATERIALS & FINISHES, 2nd sentence through remainder of paragraph: It is required that portions of front elevations incorporate the use of one or more of the following natural materials: wood siding and trim (fiber cement siding may be included if the same as wood in appearance), brick, or stone (cultured stone may be included if the same as stone in appearance). Other materials, including synthetic stucco (EIFS), aluminum siding, vinyl siding and other composites, shall be acceptable as primary elements provided that a portion of the elevation include natural materials as described here in. The percentage, type and detail of natural material included shall be dictated by the Architectural Style proposed and as approved by the Master Developer. Additionally, synthetic stucco (EIFS) shall be limited in use to a secondary element, unless designed to appear as natural brick or stone material. Corner boards, window and door trims, shutters band boards, and moldings shall be used to differentiate and enhance each individual styled elevation. Entries shall be oriented to the street and shall receive additional emphasis and detail. Flush rakes and long expanses of flat wall planes are not allowed on thru lots. Gutters, downspouts and splash blocks are required and shall be included with each elevation design, in a style compatible with the architecture of the structure.

Required:

- 1. Corner boards, trim and door/window surrounds on all facades.**
- 2. Side and rear facades fully exposed to public ways or R.O.W. shall include the same materials and design used on the front façade for at least 30% of the surface.**

Note: These designs are to be submitted to the Master Developer and Village for approval.

PAGE 58

EXTERIOR COLORS, 2nd sentence: Colors shall be consistent with traditional Village and Midwest vernacular.

Required:

- 4. Subtle third color accents, in traditional colors, appropriate for the style chosen.**

FRONT ENTRY, SERVICE, PATIO & GARAGE DOORS, 4th sentence: Muntins, sidelites, special shades and window detail shall be encouraged where appropriate for the style chosen.

Other appropriate features include:

- 7. Pediments, entablatures, and decorative archways where appropriate.**

ROOF ACCESSORIES, GUTTERS AND DOWNSPOUTS: It is required that all exposed, unpainted metal materials are hidden or muted from the public eye whenever possible. Exposed flues and roof vents shall be located on the back slope of roofs. Gutters and downspouts shall match or be compatible with trim colors.

Note: These designs are to be submitted to the Master Developer and Village for approval.

PAGE 59

DESIGN STANDARDS: SINGLE FAMILY, 1st sentence: It is the goal of the Master Developer to encourage a variety of traditional and well recognized Architectural Styles which de-emphasize the garage in creative ways and add value to the community through good planning.

3rd sentence: The Builder and Architect are required to utilize the following architectural standards and techniques in the creation of various residential housing products and styles, and in the development of neighborhood concepts.

ELEVATIONS, 1st sentence: To create diversity and individuality throughout Cornerstone, and to comply with anti-monotony standards, it is critical that a variety of architectural styles and color packages be provided for homes in proximity to one another.

MINIMUM REQUIREMENTS

2. Minimum of (5) color packages.

4. f. architectural style

SCALE AND MASSING, 2nd & 3rd sentence: The incorporation of second story dormers, porch entries, usable covered porches, bay windows and other residentially scaled elements, attached structures and appendices are critical to reduce the frontal mass and impact of the homes. A strong expression of entry and a forward orientation of the front door are mandatory.

Design Considerations:

1. Mass of dwellings scaled down through varying roof heights, styles and shapes.
2. Appropriate sense of scale and balance within a structure's components and with adjacent structures
5. De-emphasis of 2 or 3 car garage elements by setting back the garage plane, or softening the heavy mass with appropriate architectural consideration, design and detail.
6. Scale and massing consistent with the architectural style chosen.

Note: These designs are to be submitted to the Master Developer and Village for approval.

Examples of Single-Family designs: Bottom photo to be replaced with example of side-load design.

PAGE 60

EXTERIOR MATERIALS & FINISHES, 2nd sentence through remainder of paragraph: It is required that portions of front elevations incorporate the use of one or more of the following natural materials: wood siding and trim (fiber cement siding may be included if the same as wood in appearance), brick, or stone (cultured stone may be included if the same as stone in appearance). Other materials, including synthetic stucco (EIFS), aluminum siding, vinyl siding and other composites, shall be acceptable as primary elements provided that a portion of the elevation include natural materials as described here in. The percentage, type and detail of natural material included shall be dictated by the Architectural Style proposed and as approved by the Master Developer. Additionally, synthetic stucco (EIFS) shall be limited in use to a secondary element, unless designed to appear as natural brick or stone material.

Paragraph 2, 1st sentence: Corner boards, window and door trims, shutters band boards, and moldings shall be used to differentiate and enhance each individual styled elevation.

4th sentence: Gutters, downspouts and splash blocks are required and shall be included with each elevation design, in a style compatible with the architecture of the structure.

Required:

- 1. Corner boards, trim and door/window surrounds on all facades.**
- 2. Side elevations fully exposed to public ways or R.O.W. shall include the same materials and design used on the front façade for at least 30% of the surface.**
- 3. Rear elevations: see rear elevation controls.**

EXTERIOR COLORS, 2nd sentence: Colors shall be consistent with traditional Village and Midwest vernacular.

Required:

- 4. Subtle third color accents, in traditional colors, appropriate for the style chosen.**

REAR ELEVATION CONTROLS, 1st sentence: In neighborhoods that back up to Perimeter Roads or R.O.W., it is the intent to provide an appearance control for the rear and side elevation of those homes. On those identified lots, at least (3) techniques from the list below shall be incorporated onto rear elevations:

Delete existing #5

New #5. At least 30% of the rear elevation must incorporate materials and/or accent materials of the front elevation.

Examples of acceptable Single-Family designs: Top photo to be replaced with example of side facade.

PAGE 61

FRONT ENTRY, SERVICE, PATIO & GARAGE DOORS, 5th sentence: Muntins, sidelites, special shades and window detail shall be encouraged where appropriate for the style chosen.

Other appropriate features include:

- 7. Pediments, entablatures, and decorative archways where appropriate.**

ROOF ACCESSORIES, GUTTERS AND DOWNSPOUTS: It is required that all exposed, unpainted metal materials are hidden or muted from the public eye whenever possible. Exposed flues shall be located on the back slope of roofs. Gutters and downspouts shall match or be compatible with trim colors.

CHIMNEYS: Chimneys shall be compatible with the architectural style of the building to ensure consistency in design. Through-roof chimney projections shall be clad of the same predominant siding material on the home. Chimneys on facades shall match the façade material selection and design, or be all masonry.

IV. ARCHITECTURAL DESIGN STANDARDS - E. Residential

PAGE 62

DESIGN STANDARDS: COMMON RESIDENTIAL ELEMENTS

FENCING, 3RD paragraph:

Fencing between single-family houses shall meet the following criteria:

4. Stockade fences shall not be allowed. Chain link fencing shall not be installed by the Developer in any residential area. Chain link fencing may be allowed in single family areas upon request for future residents, provided the fence material shall be black vinyl-coated and landscaping will be installed to partially screen the fence.

DECK PORCHES AND BALCONIES -

Appropriate:

4. Dominant entry porches that fit the architectural style.

V. SIGNAGE- B. Project Development Signage (by Master Developer)

PAGE 65:

Top picture note: Example of Ceremonial Entrance Feature Concept to incorporate "Grayslake"

PAGE 66:

VILLAGE ENTRY SIGNS - to be integrated with Ceremonial Entrance Feature (delete both bullet points)



CORNERSTONESM

A New Beginning ...

Project Vision and Pattern Book

THE **ALTER** GROUP®

PRESENTED TO
THE VILLAGE OF GRAYSLAKE
December 15, 2008

DRAFT



INDEX	I		
CORNERSTONE DEVELOPMENT TEAM & CONSULTANT TEAM	II		
SECTION I - PROJECT OVERVIEW			
A. THIS IS CORNERSTONE	1		
B. DEVELOPMENT LOCATION AND ENVIRONS	2		
C. CORNERSTONE INTRODUCTION & VISION	3		
D. EXISTING SITE CONDITIONS	5		
E. CONCEPTUAL MASTER PLAN	6		
F. ROADS & SITE CIRCULATION	7		
G. MASTER OPEN SPACE PLAN	8		
SECTION II - LANDSCAPING AND LANDSCAPE ARCHITECTURE			
A. GENERAL OVERVIEW	9		
B. PONDS AND OPEN SPACE LANDSCAPE.....	10		
C. PERIMETER ROADWAYS - GENERAL OVERVIEW.....	12		
1. PETERSON ROAD.....	13		
2. ALLEGHANY ROAD.....	14		
3. ILLINOIS ROUTE 83.....	15		
D. INTERIOR ROADWAYS - GENERAL OVERVIEW.....	16		
1. OFFICE/R&D/INDUSTRIAL ROADWAYS.....	17		
2. RETAIL/COMMERCIAL ROADWAYS.....	19		
3. RESIDENTIAL ROADWAYS.....	22		
SECTION III - SITE LANDSCAPING AND DESIGN			
A. GENERAL OVERVIEW.....	24		
B. OFFICE/R&D/ INDUSTRIAL	25		
C. RETAIL/COMMERCIAL.....	29		
D. RESIDENTIAL.....	33		
E. LIGHTING AND SITE FURNITURE.....	37		
SECTION IV - ARCHITECTURAL DESIGN STANDARDS			
A. GENERAL OVERVIEW.....	39		
B. OFFICE/R&D/ INDUSTRIAL	40		
C. RETAIL/COMMERCIAL	46		
D. RESIDENTIAL	55		
SECTION V - SIGNAGE			
A. GENERAL OVERVIEW.....	63		
B. PROJECT DEVELOPMENT SIGNAGE	65		
C. TENANT SIGNAGE -OFFICE/R&D/ INDUSTRIAL	67		
D. TENANT SIGNAGE- RETAIL/COMMERCIAL	69		
E. TENANT SIGNAGE-RESIDENTIAL USES	74		
APPENDIX	75		





DEVELOPMENT PARTNERS

THEALTERGROUP® *Master Developer, Industrial Office, and Commercial Builder*

The master developer of **Cornerstone** is the Alter Group, a premier national business and office real estate development company. Under the direction of President, Michael Alter, the Alter Group, is charting a new course for cooperative partnership with government entities to ensure the mutual goals of synergistic and quality growth.

EDWARD R. JAMES PARTNERS, LLC *Residential Developer and Builder*



The residential joint venture development partner will be Edward R James Partnership LLC. Edward R. James Homes is known for new and innovative approaches to the design of residential units, and more importantly, integrates design with quality landscaping that will change the development vision for generations to come. Development is more than building on the land; it is about building to the land with thoughtful planning, contextual architecture and integrated landscaping that together respect and enhance the environment, and provide lasting value.

These two companies will form the synthesis to complete the development as prescribed.

CONSULTANT TEAM

DANIEL WEINBACH & PARTNERS, LTD. Landscape Architects



Landscape Architect

53 W Jackson Boulevard Suite 205
Chicago, Illinois 60640
phone 312 427-2888
fax 312 427-7648



Planner, Designer

212 West Kinzie Street 3rd Floor
Chicago, Illinois 60610
phone 312 467-5445
fax 312 467-5484



Designers

1530 East Dundee Road Suite 360
Palatine, Illinois 60074
phone 847 705-2200
fax 847 705-2201



Planning, Architecture, Landscape Architecture

1468 W. 9th Street, Suite 600
Cleveland, Ohio 44113
phone 216 781-9144
fax 216 781-6566

SPACECO, INC.

Engineers

9575 West Higgins Road Suite 700
Rosemont, Illinois 60018
phone 847 696-4060
fax 847 696-4056



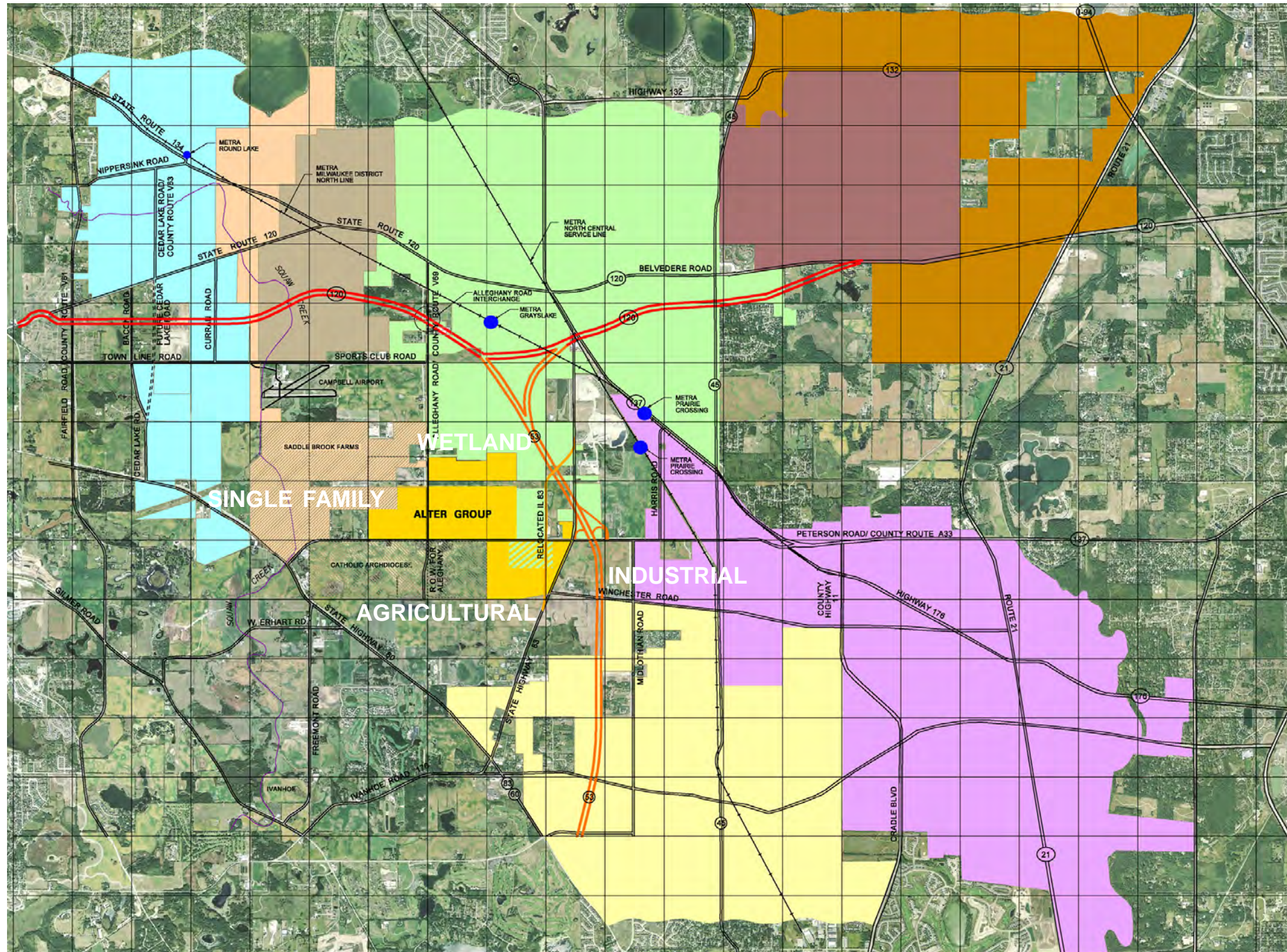


Imagine joining every aspect of your life - job, family, learning, kids, rest and recreation, personal time, culture and growth. All living and working together like a perfect circle.

We see smart growth as building on what's already here. Joining an ambitious plan to invest in the economy and future of Lake County while still carrying the torch of its rich history. Being part of a world- class locale that's poised to grow by 200,000 new residents in the next 15 years while keeping us at a human scale. Bringing the world to the doorstep of Lake County while preserving this precious land. **This is Cornerstone.**

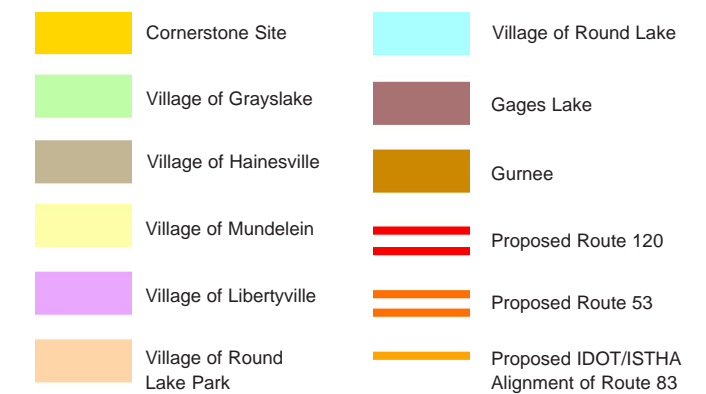
I. Project Overview

B. Development Location & Environs



The **Cornerstone** site consists of 641 acres, 48 acres of which is currently in the Village of Grayslake. The site is located approximate 6.5 miles west of the Interstate 94 and Illinois Route 137 interchange. The proposed site is conveniently located within 1-1/2 miles of 3 commuter rail stations and is located just south of Pace Bus Route 570 that operates between Fox Lake and the Gurnee Mills Shopping Center. This site is served by Grayslake High School District 127, Mundelein High School District 120 and Fremont Elementary District 79.

Surrounding land uses include: single family, agricultural, wetland and industrial.





The **Alter Group** would like to introduce a proposed concept plan for a development to be located on Illinois Route 83 and Peterson Road in the Village of Grayslake, Illinois.

Alter has a unique vision to create a large mixed-use development that will allow for live, work, shop and play, all with good pedestrian and vehicular access. The **Alter Group** has been working with their professional design teams to establish what will be one of the highest quality developments in the Chicago area.

Cornerstone is proposed to be an upscale multiple-use community that will feature a combination of business, retail, residential and open space land uses along with amenities designed to provide a setting for an active lifestyle. At **Cornerstone**, people can live, work, shop and play in an environment that maximizes lifestyle opportunities while minimizing transportation needs.

The intent of this pattern book is to highlight the overall planning concepts proposed for the development. It is intended to demonstrate the intent of the Developer to create a high quality and sustainable (economically, environmentally and socially) community - home to business, commercial, retail, and residential uses.

Appropriate covenants will be developed by the Master Developer to ensure maintenance and quality of the development. The Builder/Developers and all successors shall be responsible for adherence to this book, the annexation agreement, and any approved P.U.D. and special use permits, covenants and restrictions in conjunction with all applicable Village ordinances.

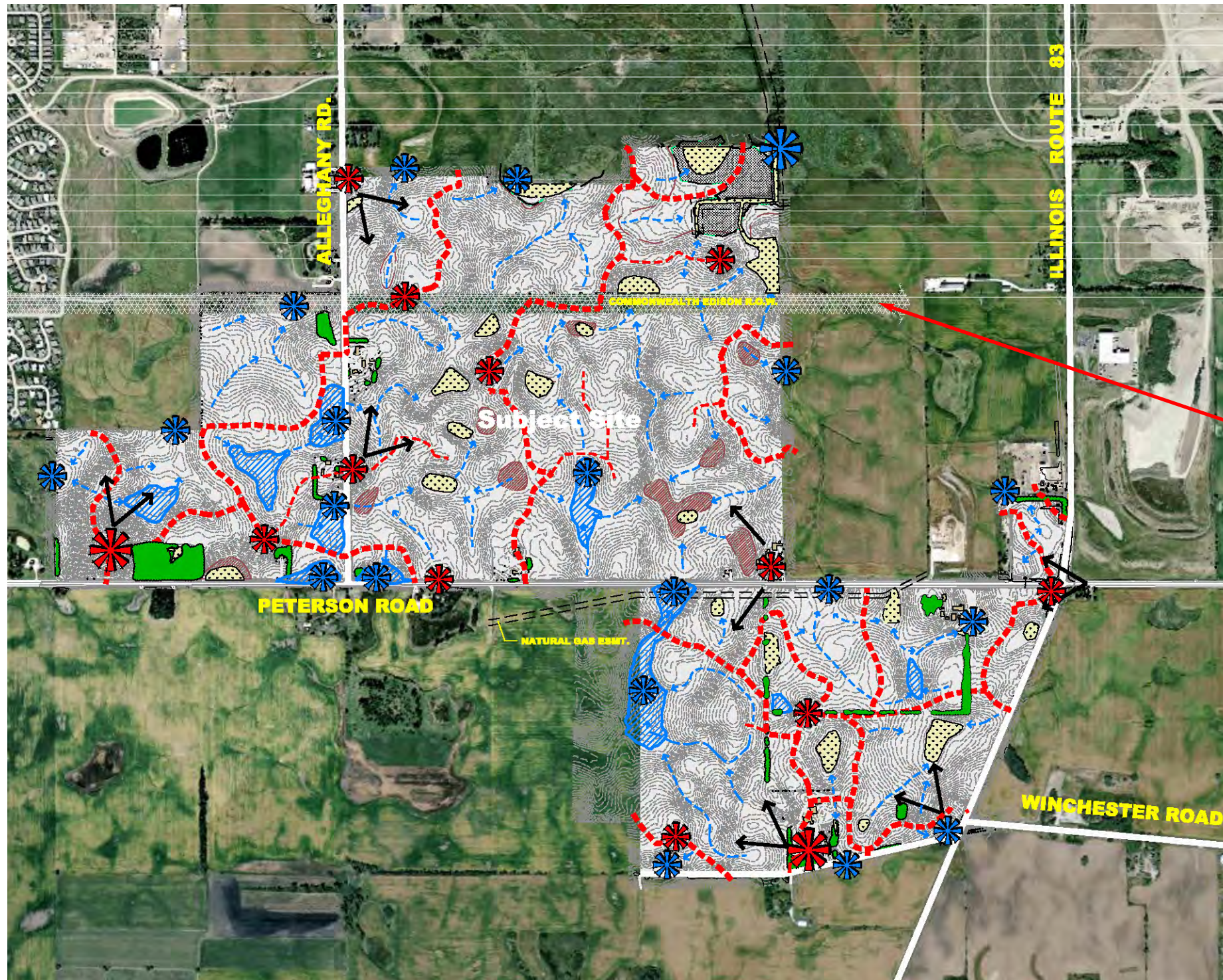


Cornerstone is a proposed 641 acre multiple-use community that, when finished, will:

1. Provide opportunities to existing businesses and prospective employers seeking to locate in Lake County
2. Offer thousands of new jobs with the potential to reduce the commuting distance for employees
3. Create several million square feet of research and development, industrial and office space.
4. Provide approximately 400,000 - 500,000 sf of retail and lifestyle shopping and entertainment opportunities
5. Include a variety of types of residences, --- including many units with little or no school impact.
6. Create a strong property tax base, important to the long term vitality of local government
7. Provide a variety of residential housing that incorporates quality architectural design and is within walking distance to work, retail shops, service providers, restaurants, entertainment venues and other facilities
8. Create a unique sense of place and community, different than others in Lake County yet still a part of Grayslake
9. Feature pedestrian-oriented avenues and spaces as well as opportunities for programs and community gatherings
10. Set-aside numerous parcels of land for parks, water features and open spaces
11. Work to promote bicycle friendly paths and convenient PACE bus services to nearby METRA commuter rail stations and other Lake County destinations



*Note: The following pictures, renderings, drawings and sketches represent the vision of the Master Developer for **Cornerstone**. It is the Master Developer's intention that these images represent a pictorial standard to be used in combination with the text guidelines to serve as standards for the final development plans to be submitted for approval at each phase of the development.*














EXISTING SITE CONDITIONS

The subject site is rolling and has many natural features that will be preserved, including maintaining a hill west of Allegany Road and locating detention ponds in the natural low or depression areas - working with the land to complete the overall land plan. A detailed existing conditions review was made of the site to determine water flow, highest and lowest points on the site, natural wetlands, and vista locations. The Developer has taken into consideration the existing natural wetland to the north of the site.

The property is transected by the Commonwealth Edison easement.

Legend

- | | |
|---|--|
|  High Point |  Poor Soils Area |
|  Low Point |  Existing Wetland |
|  Major Ridge Line |  Existing Floodplain |
|  Minor Ridge Line |  Depressional Storage Area |
|  Drainage Way |  Existing Trees |
|  Site Views | |

Note: The Developer intends to preserve all "high quality" trees where possible in accordance with the Village of Grayslake ordinances and when not in conflict with approved development or grading plans.



Note: Acreage and specific land use designations are approximate, have not been approved by any governmental agency, and are based upon current planning and market knowledge.

CORNERSTONE CONCEPTUAL MASTER PLAN

All industrial, office, commercial, retail and residential components will include various amenities as shown on the conceptual master plan. This plan emphasizes creative land planning, indigenous and mature landscaping, and the integration of water with opportunities for bike and walking paths.

The Master Developer has prepared concept plans to integrate wetlands, wet/dry detention ponds and green belt corridors with an exceptional trail system to produce a variety of open spaces and enhance the pedestrian and vehicular value of this development within the Grayslake community.

Where desirable, the commercial and higher density areas are oriented to provide direct pedestrian connections to the surrounding land uses. The location of lakes, ponds and roads form either the separation or connection between the different uses.

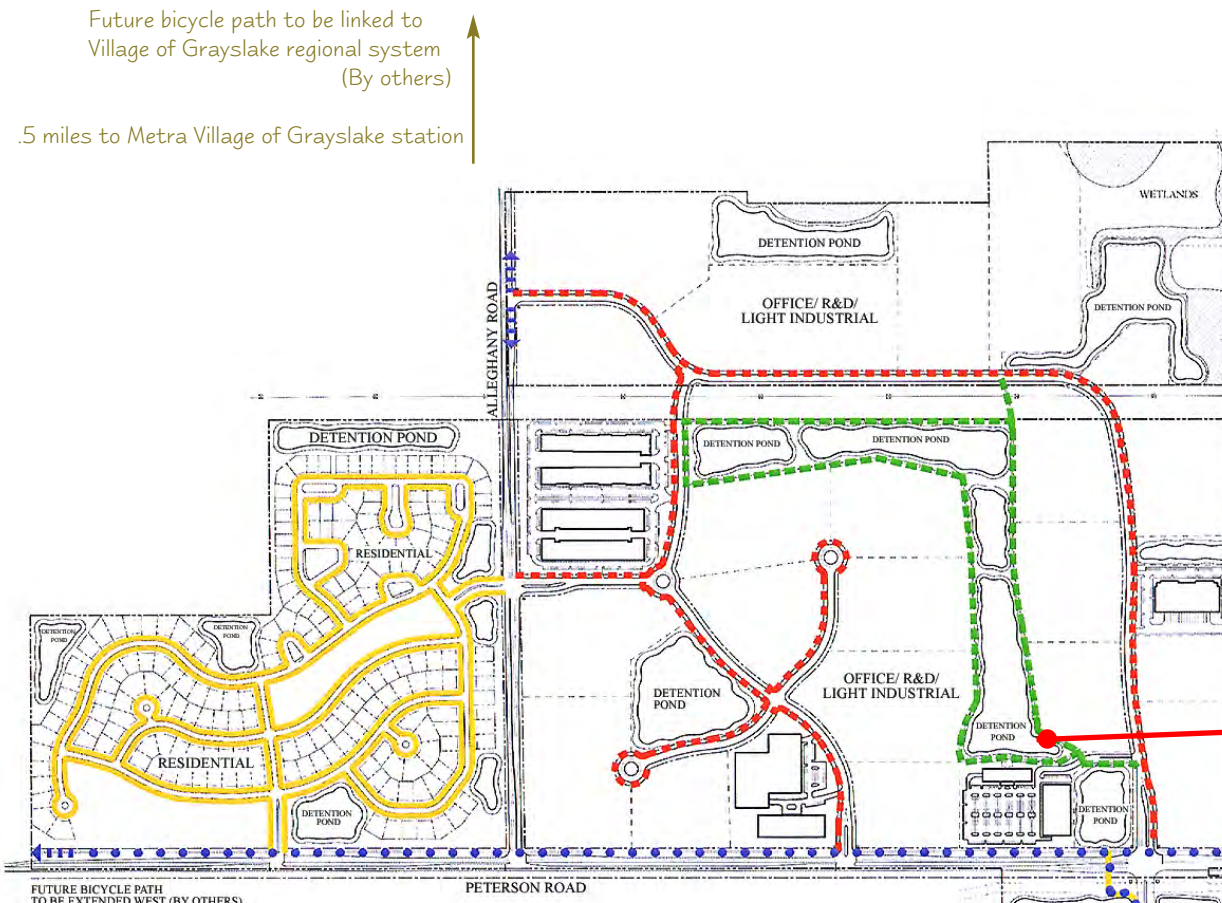
Final development plans shall be submitted to the village for approval when the Master Developer has various pods or lots leased or sold.

RETAIL / COMMERCIAL
69 ACRES

RESIDENTIAL
132 ACRES

I. Project Overview

F. Roads and Site Circulation

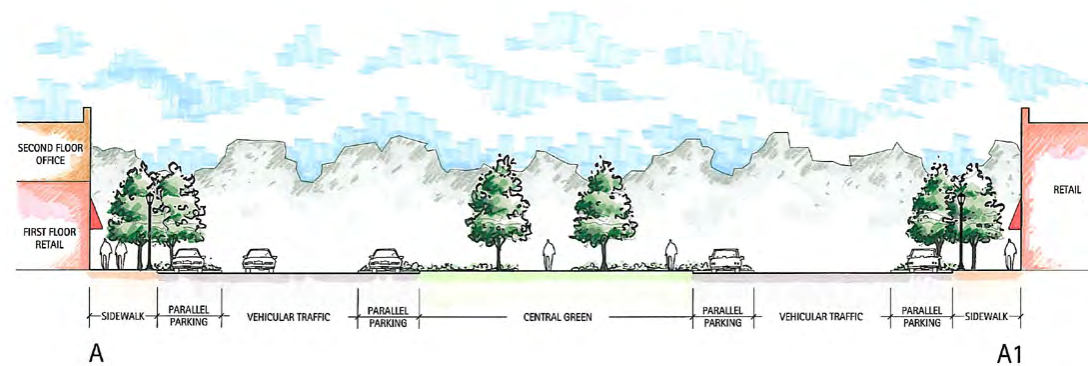


SITE CIRCULATION - ROADS, BIKE AND WALKING PATHS

The circulation plan provides for a roadway system that takes into consideration the natural drainage and vistas for the site. The interior roads are designed to connect with perimeter roads in a way that provides convenient access and efficient links between land uses. Pavement widths are designed adequately to accommodate traffic flow and to minimize unnecessary pavement where possible, via the use of reduced roadway widths (multi-family residential area). Additionally, the circulation plan allows for bikes, sidewalks and multi-use paths which will provide for pedestrian and bicycle connections between uses and activities. Further, a pedestrian trail system has been included to provide passive recreation opportunities amongst the site's open space areas. Traffic signals and controls shall be provided as required by LCDOT.



Cross section of trail system



Main street cross section in retail area.

INTERIOR ROAD AND CIRCULATION PLAN KEY

- - - - - MULTI-USE PATH
- - - - - BICYCLE PATH
- PEDESTRIAN WALKWAYS
- - - - - TRAIL SYSTEM



OPEN SPACE AND POND PLAN

Open spaces and water areas are used to define and link land uses. Pathways will be added to connect and provide access. A naturalistic planting approach will be employed. The plan creates amenities which include large neighborhood open spaces in residential areas and many office/R&D/light industrial lots featuring waterfront access. A central pond in the southern parcel will create a focal point between the retail/commercial area and the higher density residential area, creating an opportunity for gathering spaces and passive recreation.



Example of natural pond edges



Example of naturalistic pond edge with diverse plant mix in Office/R&D/Industrial area



Example of pond, wet/dry detention areas



Example of pedestrian trail linking residential to retail/commercial areas.

Neighborhood Open Areas

Example of naturalistic pond edge planting in open space

II. Landscaping and Landscape Architecture

A. General Overview



This planning and landscape section has been prepared to provide Property Owners, Architects, Contractors, and Builders/Developers with important information related to the development of properties to ensure a harmonious, well designed streetscape and to protect the environmental and esthetic quality of the overall development.

The planning and landscape theme of the **Cornerstone** development is a modified restoration of the native Illinois landscape. There will be a heavy emphasis on conservation and natural landscape with dramatic enhancement in high visibility areas.

The two goals of the planning and landscape design are as follows:

Maintain a high level of aesthetics using the following elements:

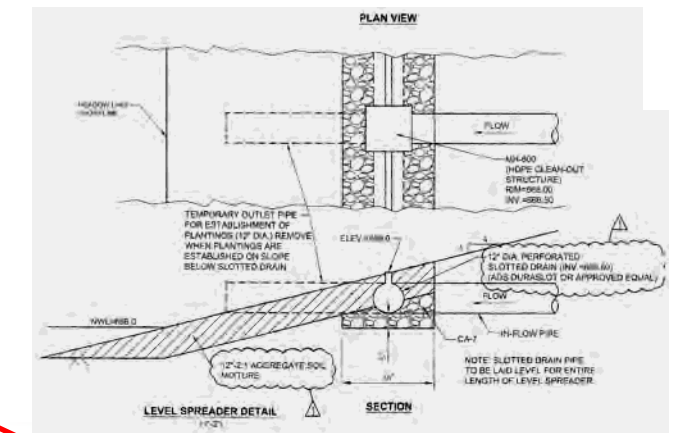
1. Use of high quality plant material throughout.
2. Use of strong plant groupings to reinforce plan elements.
3. Use of strong color and seasonal interest.
4. Implementation of high quality, consistent landscape maintenance.

Develop a sustainable landscape based upon the following principles:

1. Emphasize native, non-invasive planting while allowing for appropriate adaptive plant material.
2. Conserve water and energy by use of carefully controlled irrigation, use of hardy and tolerant plants, and limiting lawn mowing by planting slow growing grasses and meadow or prairie grasses in lieu of Blue Grass lawns.
3. Develop landscapes that require minimal or significantly reduced maintenance and energy usage.
4. Encourage natural storm water management by maximizing surface runoff through grass filters, minimizing catch basins-piping systems. These elements will help to cleanse and create a natural flow for rain water run-off.
5. Encourage low impact landscape by use of non-toxic, recyclable, re-usable materials. Limit use of chemicals and herbicides. The use of phosphates will not be allowed.
6. Utilize BMPs (Best Management Practices) and LEEDs as part of the approach to design.
7. Part of the planting preservation process will be the introduction of recirculated pond water, as irrigation water for specific areas.



Example of enhanced wetlands and habitat using native vegetation in planned open space.



Example of BMP for detention basin design.



Open Space Plan page 8



Example of natural storm water plantings in industrial and commercial open space.

Cornerstone will be incorporating Best Management Practices (BMP's) throughout the development. The overall land plan will incorporate bio-swales, wetland plantings, naturalized shorelines, cleansing areas and rain gardens, and the use of porous pavement will be encouraged on individual sites where feasible. The majority of the BMP's will occur in and around all land use areas. Great care will be taken in the design of the BMP's to provide a framework and a benchmark for all future development to foster and encourage the use of the Best Management Practices. The Developer has prepared a landscape planting palette that includes all species to be used in the development. Landscape plans generated for the development shall incorporate plant materials from this approved list.

II. Landscaping and Landscape Architecture

B. Ponds and Open Space Landscape

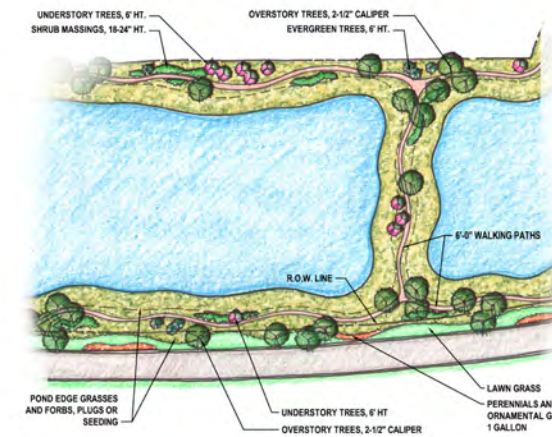


POND AND OPEN SPACE VISION

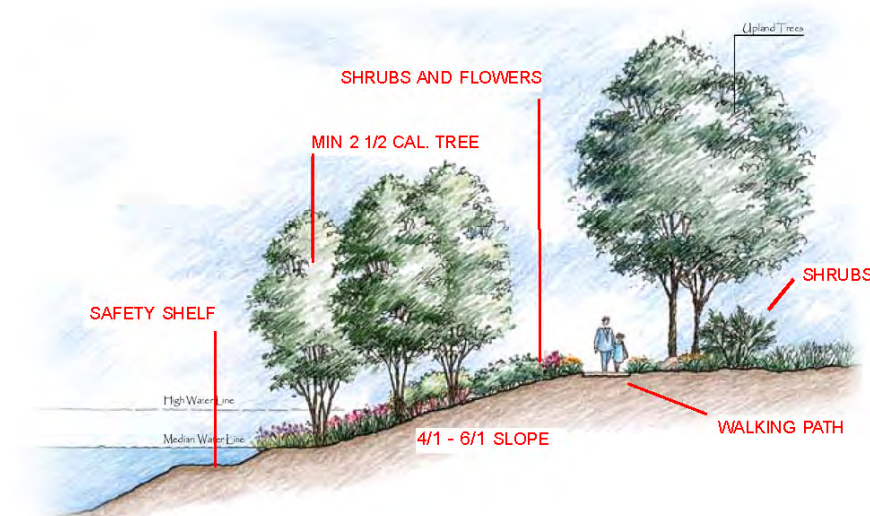
A series of retention ponds has been designed to control storm water run-off. In addition to performing its essential function, the ponds will be designed as a major site amenity that is the core of the conservation system for the entire site.

The following are the defining characteristics for ponds and open space:

1. The pond system is continuous wherever possible. The ponds are linked by a natural, sustainable landscape, emphasizing native grasses and informal clusters of native or adaptive trees, shrubs and perennial flowers.
2. The environment is pedestrian accessible with a continuous nature path along pond edges, above the high water level. These are simple walking paths with occasional benches and interesting, colorful native/adaptive plant massings.
3. There will be heavy emphasis on native or adaptive plant material, appropriate for the topography. Flat areas will be reminiscent of Oak Savannahs with meadow grass and wildflowers, punctuated by clusters of native tree species. Pond edges will consist of lowland trees and water related plants, and wetlands will be protected and integrated wherever possible.
4. The pond system will become a habitat for native fish, birds, and other wildlife, becoming a true conservation area for the entire community.
5. The pond system will provide the necessary irrigation water for major landscape areas and the individual commercial and industrial areas.
6. In the north and northeast area of the development, additional wetland plants will be introduced to enhance the existing wetlands.
7. The introduction of large open spaces and pocket parks designed around unique boulevards and open vista areas shall be an important part of the conservation aspect of design and the driving experience.



Example of site landscaping in pond area



Typical pond cross section with planting



Typical pond cross section with planting

II. Landscaping and Landscape Architecture

B. Ponds and Open Space Landscape



The planting palette below has been designed for ponds and open space areas.

PLANTING PALETTE: PONDS AND OPEN SPACE

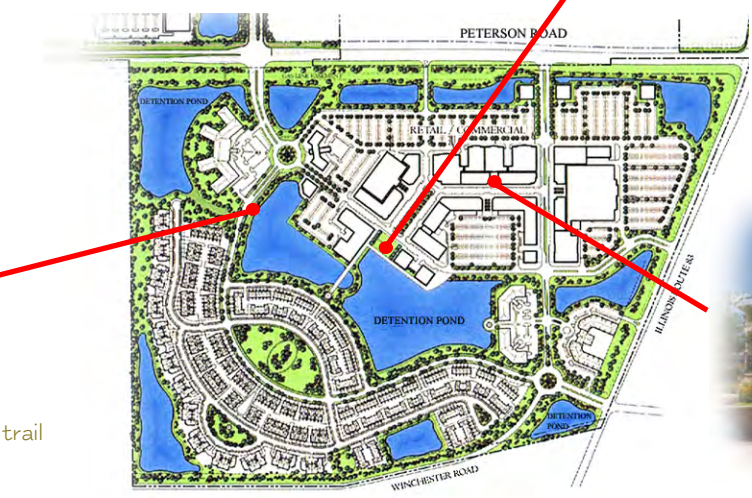
A. Overstory Trees			E. Perennials, Grasses, and Forbs		
Botanical Name	Common Name	Size	Botanical Name	Common Name	Size
Acer nigrum	Black Maple	2-1/2" caliper	Alisma subcordatum	Common Water Plantain	Plugs or seeding
Acer saccharum	Sugar Maple	2-1/2" caliper	Andropogon scoparius	Little Bluestem Grass	Plugs or seeding
Acer x reemanii 'Autumn Blaze'	Autumn Blaze Maple	2-1/2" caliper	Asclepias incarnata	Swamp Milkweed	Plugs or seeding
Alnus glutinosa	Alder	10' ht.	Asclepias syriaca	Common Milkweed	Plugs or seeding
Betula nigra	River Birch	10' ht.	Asclepias tuberosa	Butterfly Milkweed	Plugs or seeding
Carya ovata	Shagbark Hickory	2-1/2" caliper	Aster azureus	Sky-Blue Aster	Plugs or seeding
Celtis occidentalis	Hackberry	2-1/2" caliper	Aster laevis	Smooth Blue Aster	Plugs or seeding
Gleditsia tricanthos inermis	Thornless Honeylocust	2-1/2" caliper	Aster novae-angliae	New England Aster	Plugs or seeding
Gymnocladus dioicus	Kentucky Coffeetree	2-1/2" caliper	Baptisia leucantha	White Wild Indigo	Plugs or seeding
Nyssa sylvatica	Tupelo	2-1/2" caliper	Bouteloua curtipendula	Side Oats Grama	Plugs or seeding
Platanus occidentalis	American Planetree	2-1/2" caliper	Calamagrostis canadensis	Blue Joint Grass	Plugs or seeding
Populus tremuloides	Quaking Aspen	2-1/2" caliper	Carex lacustris	Common Lake Sedge	Plugs or seeding
Quercus alba	White Oak	2-1/2" caliper	Cassia fasciculata	Partridge Pea	Plugs or seeding
Quercus bicolor	Swamp White Oak	2-1/2" caliper	Coreopsis palmata	Prairie Coreopsis	Plugs or seeding
Quercus ellipsoidalis	Northern Pin Oak	2-1/2" caliper	Deschampsia caespitosa glauca	Tufted Hair Grass	Plugs or seeding
Quercus macrocarpa	Bur Oak	2-1/2" caliper	Eupatorium maculatum	Spotted Joe Pye Weed	Plugs or seeding
Quercus muehlenbergii	Chinkapin Oak	2-1/2" caliper	Glyceria striata	Fowl Manna Grass	Plugs or seeding
Quercus rubra	Red Oak	2-1/2" caliper	Helianthus occidentalis	Western Sunflower	Plugs or seeding
Taxodium distichum	Common Baldypress	2-1/2" caliper	Heliopsis helianthoides	False Sunflower	Plugs or seeding
Tilia americana	American Linden	2-1/2" caliper	Hibiscus palustris	Swamp Rose Mallow	Plugs or seeding
Ulmus x 'Morton Glossy'	Triumph Elm	2-1/2" caliper	Juncus effusus	Common Rush	Plugs or seeding
Ulmus x 'Prospector'	Prospector Elm	2-1/2" caliper	Liatris pycnostachya	Prairie Blazing Star	Plugs or seeding
			Liatris spicata	Marsh Blazing Star	Plugs or seeding
			Lobelia cardinalis	Cardinal Flower	Plugs or seeding
			Monarda fistulosa	Wild Bergamot	Plugs or seeding
			Penstemon digitalis	Foxglove Beard Tongue	Plugs or seeding
			Pontederia cordata	Pickering Weed	Plugs or seeding
			Rudbeckia hirta	Black-Eyed Susan	Plugs or seeding
			Rudbeckia subtomentosa	Sweet Black-Eyed Susan	Plugs or seeding
			Scirpus pendulus	Red Bulrush	Plugs or seeding
			Silphium laciniatum	Compass Plant	Plugs or seeding
			Silphium terebinthinaceum	Prairie Dock	Plugs or seeding
			Solidago riddellii	Riddell's Goldenrod	Plugs or seeding
			Solidago rigida	Stiff Goldenrod	Plugs or seeding
			Spartina pectinata	Prairie Cord Grass	Plugs or seeding
			Sporobolus heterolepis	Prairie Dropseed	Plugs or seeding
			Verbena hastata	Blue Vervain	Plugs or seeding



Example of large open space in single-family areas



Example of pond with vista.



Example of commercial pocket park in retail/commercial area



Example of pedestrian trail along pond open space



II. Landscaping and Landscape Architecture

C. Perimeter Roadways - General Overview



Perimeter roadways include the three high-traffic arterials adjacent to the development: Peterson Road, Alleghany Road, Illinois Route 83. The perimeter roadway landscape should be designed to relate to moving vehicles and bicycles. These high-speed perimeter roads shall be landscaped with very hardy prairie or meadow grasses and groups of trees, shrubs and perennial flowers. Topography will be rolling with grassy berms where appropriate to screen parking lots and to minimize the visual impact of larger buildings. In general, planting and berming opportunities are limited within LCDOT right-of-ways however, it is the intent of the Developer to provide enhanced landscaping and berming where allowed. Landscaping and berming will be utilized on private property and/or as allowed within LCDOT right-of-ways.

The planting palette below has been designed for perimeter roadway areas.

PLANTING PALETTE: PERIMETER ROADWAY

A. Overstory Trees

Botanical Name	Common Name	Size
Acer nigrum	Black Maple	2-1/2" calip
Acer saccharum	Sugar Maple	2-1/2" calip
Acer x reemani 'Autumn Blaze'	Autumn Blaze Maple	2-1/2" calip
Alnus glutinosa	Alder	10' ht.
Betula nigra	River Birch	10' ht.
Carya ovata	Shagbark Hickory	2-1/2" calip
Celtis occidentalis	Hackberry	2-1/2" calip
Gleditsia tricanthos inermis	Thornless Honeylocust	2-1/2" calip
Gymnocladus dioicus	Kentucky Coffeetree	2-1/2" calip
Nyssa sylvatica	Tupelo	2-1/2" calip
Platanus occidentalis	American Planetree	2-1/2" calip
Populus tremuloides	Quaking Aspen	2-1/2" calip
Quercus alba	White Oak	2-1/2" calip
Quercus bicolor	Swamp White Oak	2-1/2" calip
Quercus ellipsoides	Northern Pin Oak	2-1/2" calip
Quercus macrocarpa	Bur Oak	2-1/2" calip
Quercus muehlenbergi	Chinkapin Oak	2-1/2" calip
Quercus rubra	Red Oak	2-1/2" calip
Taxodium distichum	Common Baldcypress	2-1/2" calip
Tilia americana	American Linden	2-1/2" calip
Ulmus x 'Morton Glossy'	Triumph Elm	2-1/2" calip
Ulmus x 'Prospector'	Prospector Elm	2-1/2" calip

B. Understory Trees

Botanical Name	Common Name	Size
Amelanchier canadensis	Serviceberry	6' ht.
Cercis canadensis	Redbud	6' ht.
Cornus mas	Corneliancherry Dogwood	6' ht.
Crataegus spp.	Hawthorn varieties	6' ht.
Malus spp.	Crabapple Varieties	6' ht.
Viburnum prunifolium	Blackhaw Viburnum	6' ht.

C. Shrubs

Botanical Name	Common Name	Size
Aronia prunifolia	Chokeberry	24"
Cornus sericea	Redosier Dogwood	24"
Forsythia spp.	Forsythia Varieties	24"
Hamamelis virginiana	Witchhazel	24"
Hydrangea spp.	Hydrangea Varieties	18"
Ilex verticillata	Winterberry Varieties	18"
Juniperus spp.	Juniper Varieties	24"
Physocarpus opulifolius	Ninebark	24"
Rhus aromatica 'gro-low'	Gro-Low Sumac	18"
Rosa spp.	Rose varieties	18"
Spiraea spp.	Spiraea Varieties	18"
Syringa meyeri 'Palibin'	Dwarf Korean Lilac	24"
Syringa vulgaris	Common Lilac	24"
Taxus densiformis	Dense Yew	18"
Viburnum dentatum	Arrowwood Viburnum	18"

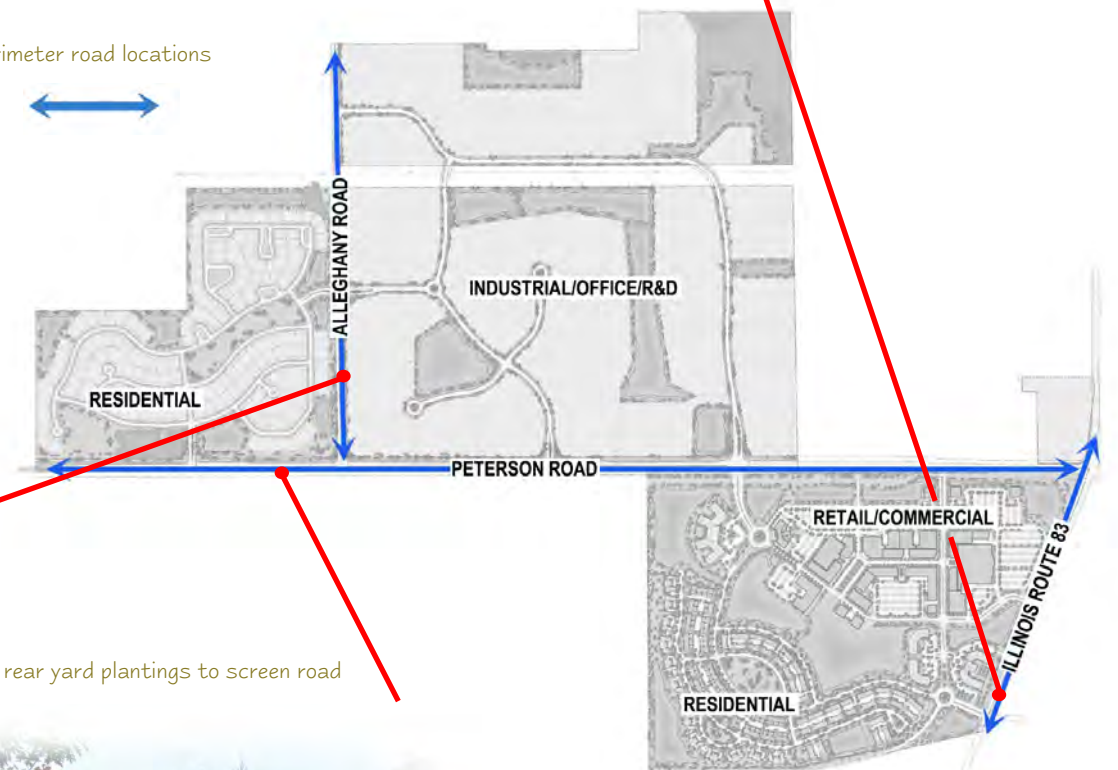
D. Perennials, Grasses, and Forbs

Botanical Name	Common Name	Size
Andropogon scoparius	Little Bluestem Grass	Plugs or seeding
Asclepias syriaca	Common Milkweed	Plugs or seeding
Aster azureus	Sky-Blue Aster	Plugs or seeding
Aster laevis	Smooth Blue Aster	Plugs or seeding
Baptisia leucantha	White Wild Indigo	Plugs or seeding
Bouteloua curtipendula	Side Oats Grama	Plugs or seeding
Heliopsis helianthoides	False Sunflower	Plugs or seeding
Liatriis pycnostachya	Prairie Blazing Star	Plugs or seeding
Monarda fistulosa	Wild Bergamot	Plugs or seeding
Penstemon digitalis	Foxglove Beard Tongue	Plugs or seeding
Rudbeckia hirta	Black-Eyed Susan	Plugs or seeding
Rudbeckia subtomentosa	Sweet Black-Eyed Susan	Plugs or seeding
Silphium terebinthinaceum	Prairie Dock	Plugs or seeding
Solidago rigida	Stiff Goldenrod	Plugs or seeding
Asclepias tuberosa	Butterfly Milkweed	Plugs or seeding
Cassia fasciculata	Partridge Pea	Plugs or seeding
Coreopsis palmata	Prairie Coreopsis	Plugs or seeding
Helianthus occidentalis	Western Sunflower	Plugs or seeding
Silphium laciniatum	Compass Plant	Plugs or seeding
Sporobolus heterolepis	Prairie Dropseed	Plugs or seeding



Example of planting to minimize the visual impact of buildings

Perimeter road locations



Example of planted berm to reduce visual impact



Example of rear yard plantings to screen road

II. Landscaping and Landscape Architecture

1. Perimeter Roadways - Peterson Road



The development has frontage on only one side of Peterson Road for a majority of its length. The drawings below represent the landscape concept for the Peterson Road right-of-way.

The following planning standards have been developed for Peterson Road.

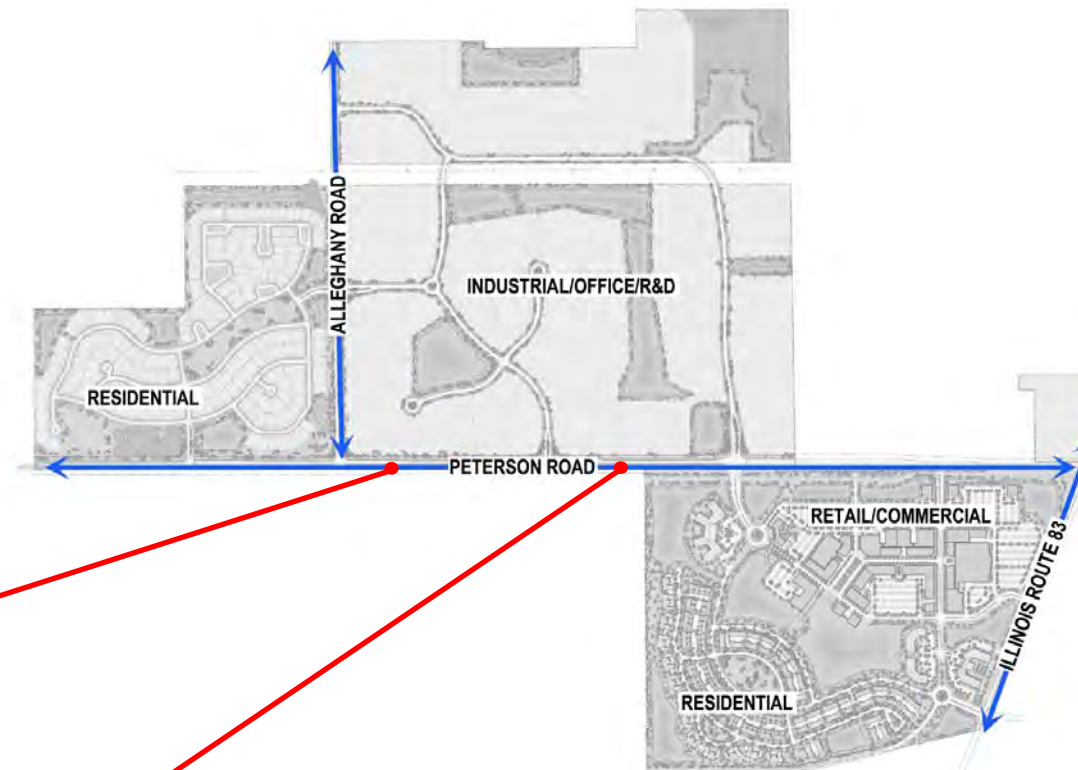
PLANNING STANDARDS: PETERSON ROAD

BUILDING SETBACKS:

- Office/Industrial R&D Uses: 30 ft. + 1 ft./each 2 feet of bldg. ht. over 30 ft.
- Core Retail/Commercial Uses: 30 ft. + 1 ft./each 2 feet of bldg. ht. over 30 ft.
- Retail Outlot Uses: 30 ft. + 1 ft./each 2 feet of bldg. ht. over 30 ft.
- Detached/Attached Single-Family: 50 ft.
- Residential - Multi-Family: 30 ft. + 1 ft. / each 2 feet of bldg. ht. over 30 ft.

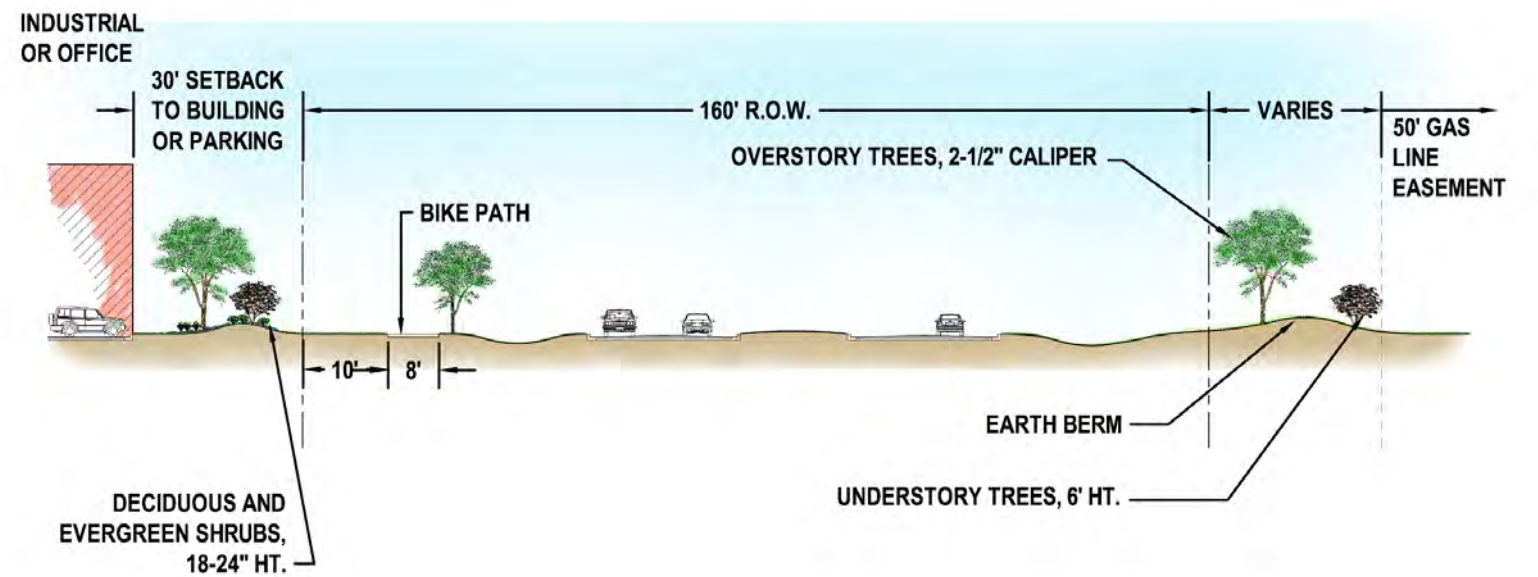
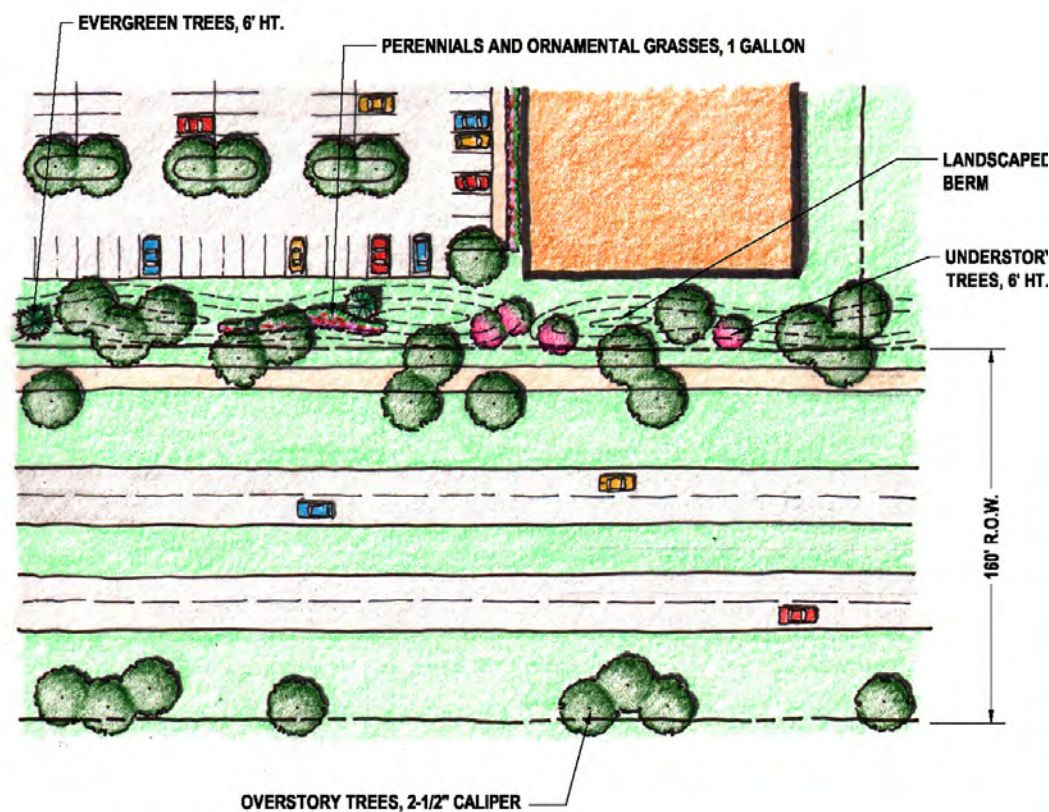
PARKING SETBACKS:

- Office/Industrial/R&D Uses: 30 ft.
- Core Retail/Commercial Uses: 30 ft.
- Retail Outlot Uses: 30 ft.
- Residential Uses: 30 ft.



Example of landscape plan along Peterson Road

Example of landscape section along Peterson Road



II. Landscaping and Landscape Architecture

2. Perimeter Roadways - Alleghany Road



The development has frontage along both sides of Alleghany Road to the Comm. Ed. easement, then one side only north of the easement. The drawings below represent the landscape concept for the Alleghany Road right-of-way.

The following planning standards have been developed for Alleghany Road.

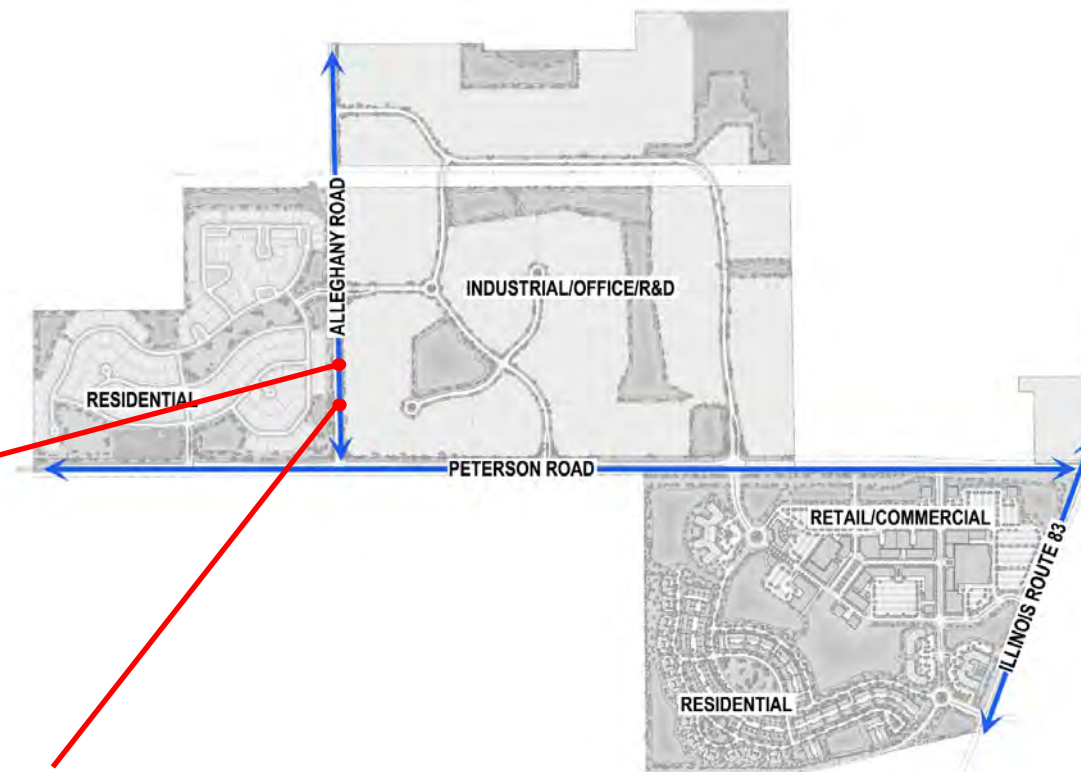
PLANNING STANDARDS: ALLEGHANY ROAD

BUILDING SETBACKS:

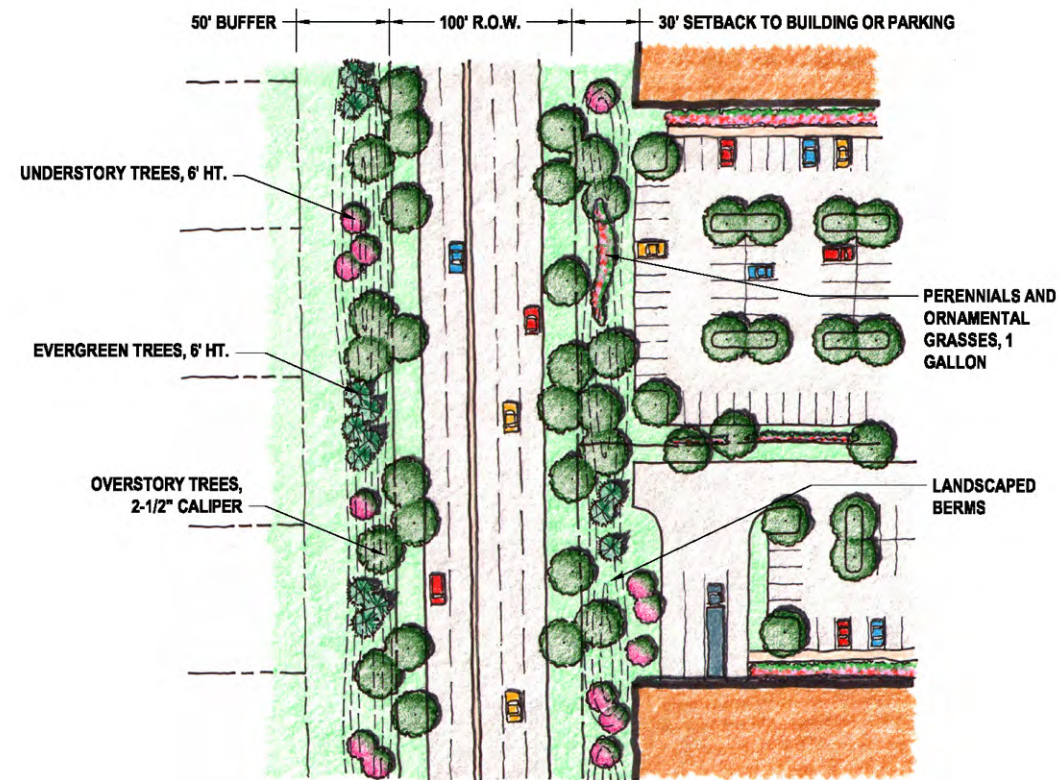
Office/R&D Uses: 30 ft.+ 1 ft./each 2 feet of bldg. ht. over 30 ft.
 Industrial/Commercial Uses: 30 ft. + 1 ft./each 2 feet of bldg. ht. over 30 ft.
 Detached/Attached Single-Family: 50 ft.

PARKING SETBACKS:

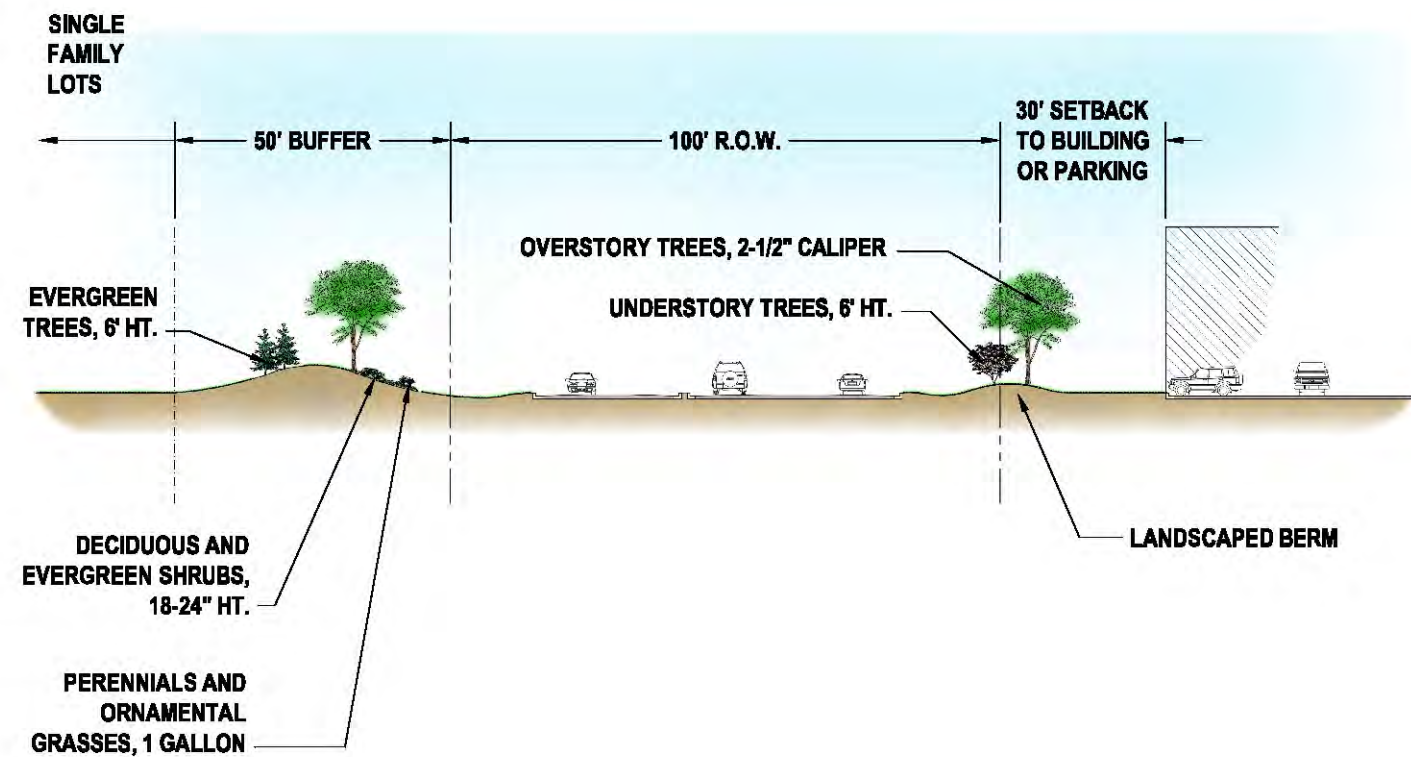
Office/R&D Uses: 30 ft.
 Industrial/Commercial Uses: 30 ft.
 Residential Uses: 30 ft.



Example of landscape plan along Alleghany Road



Example of landscape section along Alleghany Road



II. Landscaping and Landscape Architecture

3. Perimeter Roadways - Illinois Route 83



The development has frontage on only one side of Illinois Route 83. The drawings below represent the landscape concept for the Illinois Route 83 right-of-way.

The following planning standards have been developed for Route 83.

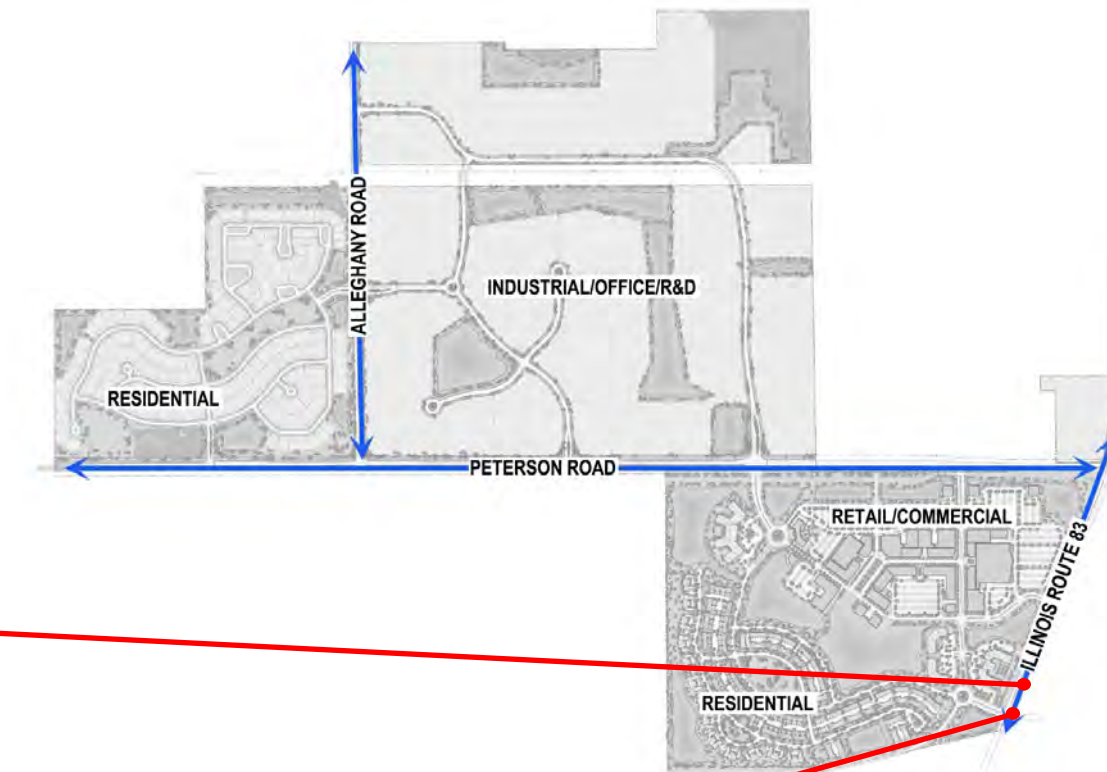
PLANNING STANDARDS: ROUTE 83

BUILDING SETBACKS ALONG PERIMETER ROADS:

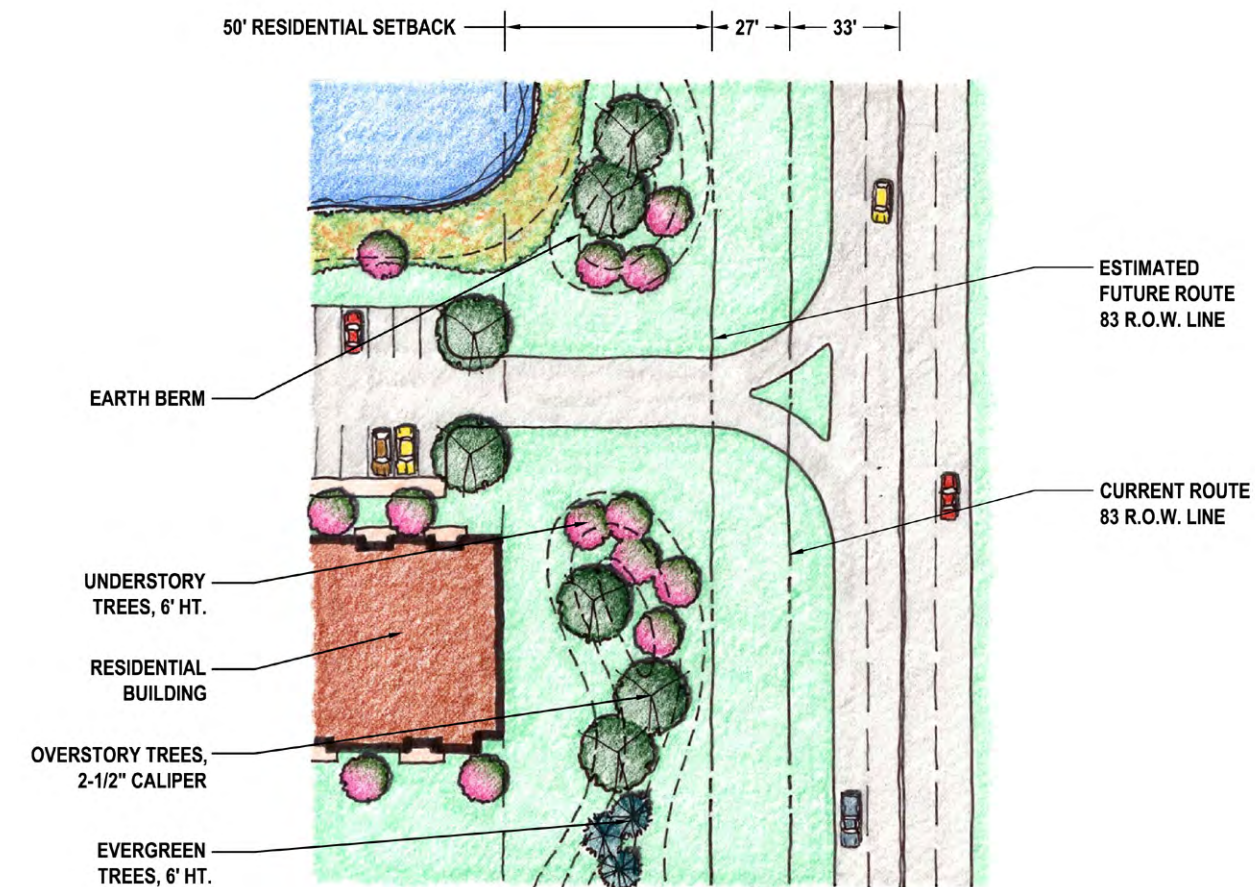
- Office/R&D Uses: 30 ft.+ 1 ft./each 2 feet of bldg. ht. over 30 ft.
- Core Retail/Commercial Uses: 30 ft. + 1 ft./each 2 feet of bldg. ht. over 30 ft.
- Retail Outlot Uses: 30 ft. + 1 ft./each 2 feet of bldg. ht. over 30 ft.
- Attached Single-Family: 50 ft.
- Residential - Multi-Family: 30 ft. + 1 ft. / each 2 feet of bldg. ht. over 30 ft.

PARKING SETBACKS:

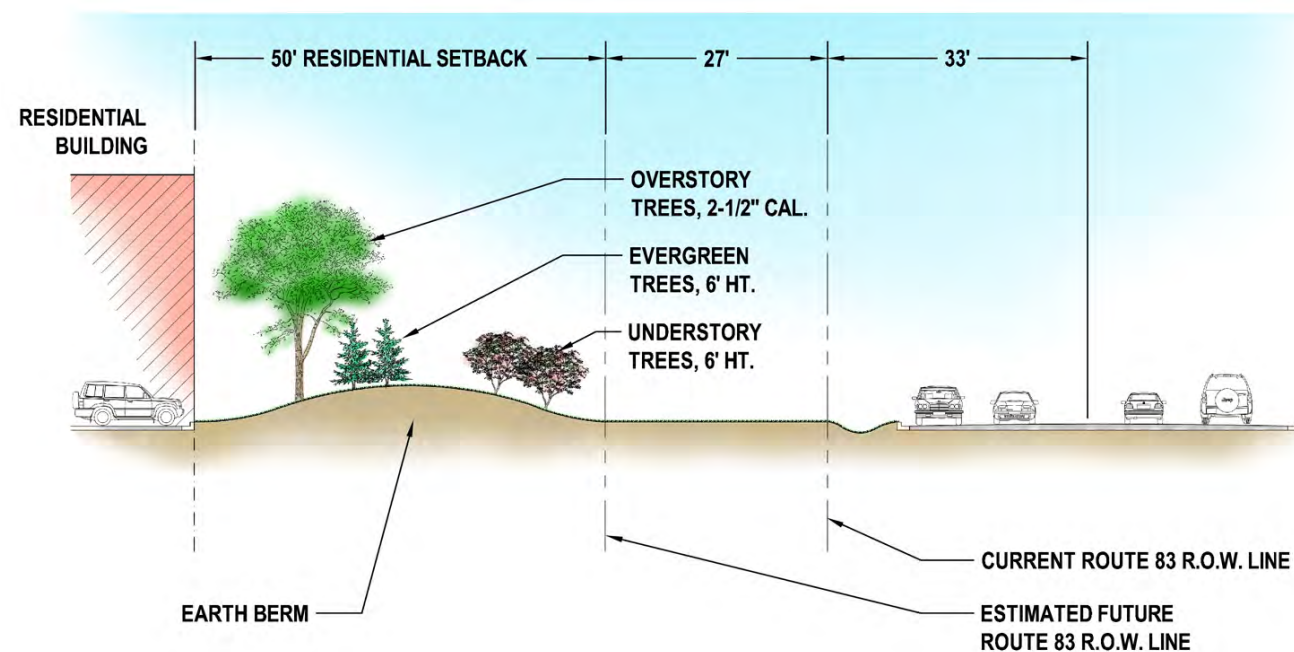
- Office/R&D Uses: 30 ft.
- Core Retail/Commercial Uses: 30 ft.
- Retail Outlot Uses: 30 ft.
- Residential Uses: 30 ft.



Example of landscape plan along Illinois Route 83



Example of landscape section along Illinois Route 83



II. Landscaping and Landscape Architecture

D. Interior Roadways - General Overview

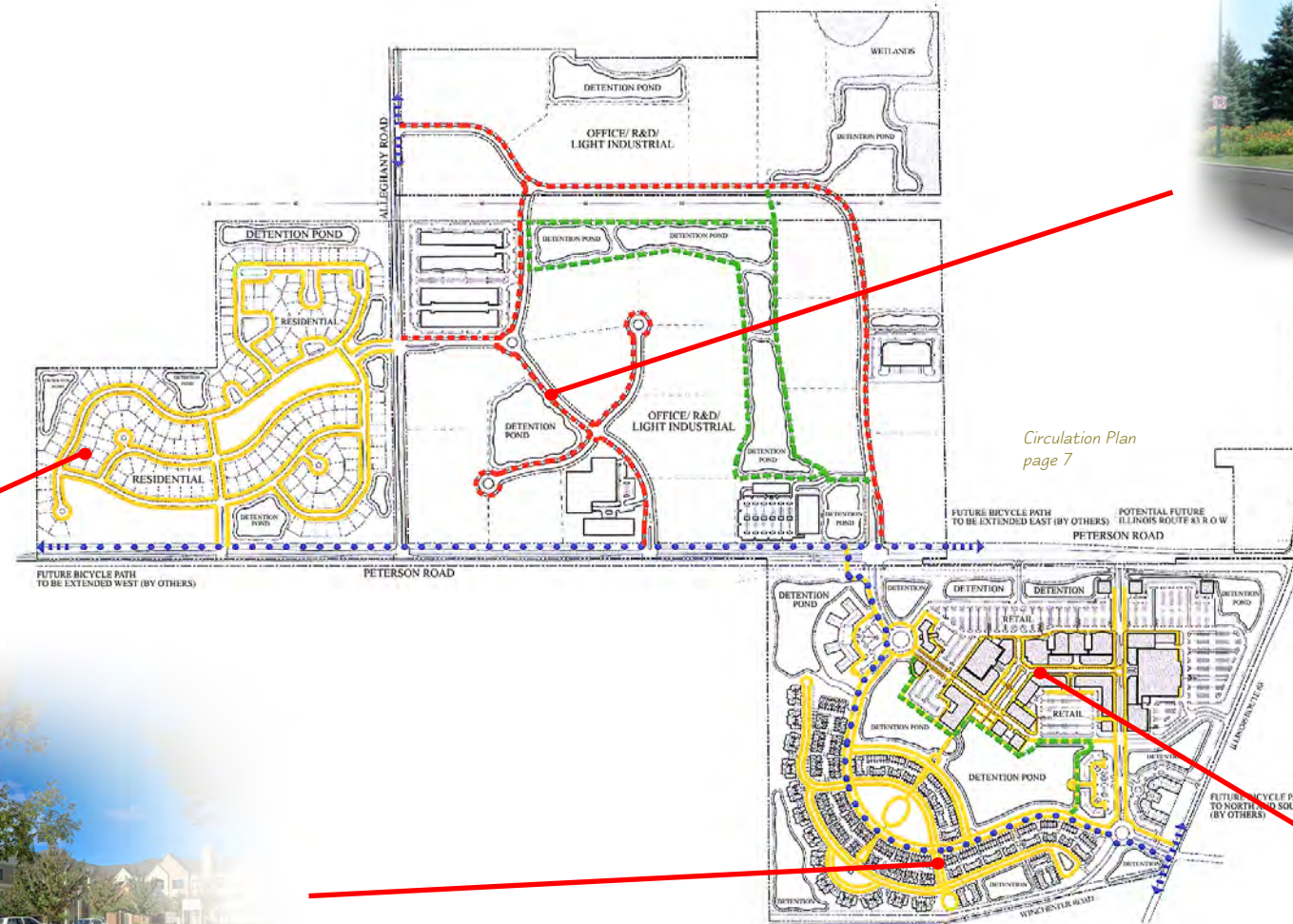


The interior roadway landscaping will be naturalistic in feel but more manicured in appearance than the perimeter roadways. Berming and plantings within the right-of-ways will be used to create visual interest, frame feature areas and, where needed, screen objectionable views.

The conceptual plans call for providing boulevards at all main entrances to the various land uses. Entrances should be appropriately landscaped and may be provided with entrance monuments indicating the name of each development area. All streets within the development will have proper streetscapes, trees and plantings in accordance with village approved drawings, details and sections. Intersections as they connect to open areas shall be appropriately landscaped. The Planner/ Engineer should review the proposed street cross-sections and Village ordinances before preparing final plans. Boulevards should be long enough and wide enough to preserve plant life within the median.



Example of adaptive plantings along interior roadway.



Example of vegetation and berming to reduce visual impact of parking along interior road



Example of a more traditional streetscape with mowed grass.



Example of tree lined interior retail road with plantings.

II. Landscaping and Landscape Architecture

D. Interior Roadways - Office/R&D/Industrial



The main roads through the office/R&D/Industrial areas shall be landscaped with planting similar to the perimeter roadways, but with a curvilinear mowed grass edge adjacent to the roadway creating a clean, manicured appearance. Trees will be clustered, not in rows, and the landscape will have detail appropriate for slower speed vehicles and bicyclists. A multi-use path for pedestrians will run through the landscape on one side of the road, out of the way of traffic. The interior road landscape palette will include swatches of perennials and flowering plants to add color to the streetscape.

The following planning standards have been developed for the interior roads of the Office/R&D/Industrial area.

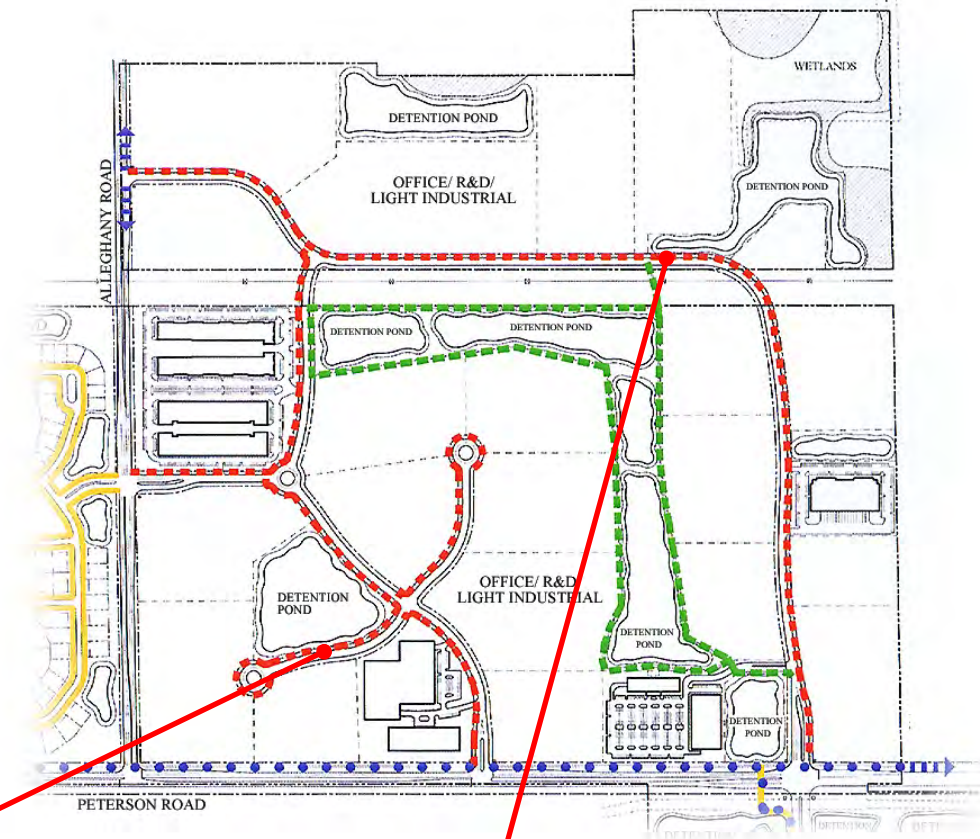
PLANNING STANDARDS: O/R/I INTERIOR ROADS

BUILDING SETBACKS:

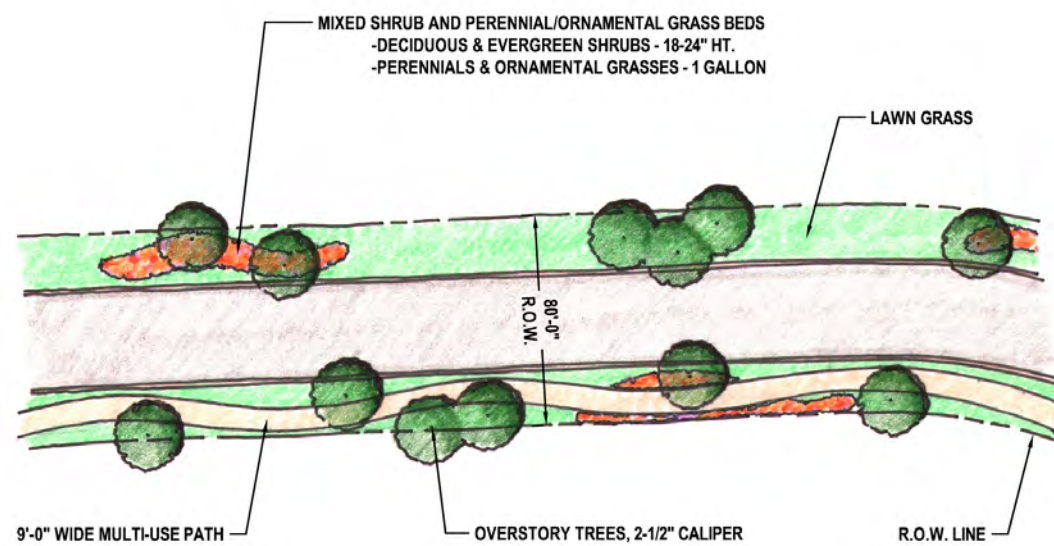
Interior Streets: 30 ft.
 Interior Side Yards: 15 ft. + 1 ft./each 2 feet of bldg. ht. over 30 ft
 Interior Rear Yards: 15 ft. + 1 ft./each 2 feet of bldg. ht. over 30 ft

PARKING SETBACKS:

Interior Streets: 15 ft.
 Interior Side Yards: 0 (common parking) to 10 ft.
 Interior Rear Yards: 0 (common parking) to 10 ft.



Circulation Plan
page 7



Example of landscape for interior road plan in the Office /R&D / Industrial area



Example of multi-use pathway and plantings in the Office/R&D/Industrial area

II. Landscaping and Landscape Architecture

D. Interior Roadways - Office/R&D/Industrial



The planting palette below has been designed for the interior roads of the Office/R&D/Industrial area.

PLANTING PALETTE: O/R/I INTERIOR ROADS

A. Overstory Trees

Botanical Name	Common Name	Size
Acer saccharum	Sugar Maple	2-1/2" caliper
Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	2-1/2" caliper
Celtis occidentalis	Hackberry	2-1/2" caliper
Gleditsia tricanthos inermis	Thornless Honeylocust	2-1/2" caliper
Gymnodadus dioicus	Kentucky Coffeetree	2-1/2" caliper
Platanus occidentalis	American Planetree	2-1/2" caliper
Quercus bicolor	Swamp White Oak	2-1/2" caliper
Quercus ellipsoidalis	Northern Pin Oak	2-1/2" caliper
Quercus macrocarpa	Bur Oak	2-1/2" caliper
Quercus rubra	Red Oak	2-1/2" caliper
Taxodium distichum	Common Baldcypress	2-1/2" caliper
Tilia americana	American Linden	2-1/2" caliper
Ulmus x 'Morton Glossy'	Triumph Elm	2-1/2" caliper
Ulmus x 'Prospector'	Prospector Elm	2-1/2" caliper

B. Understory Trees

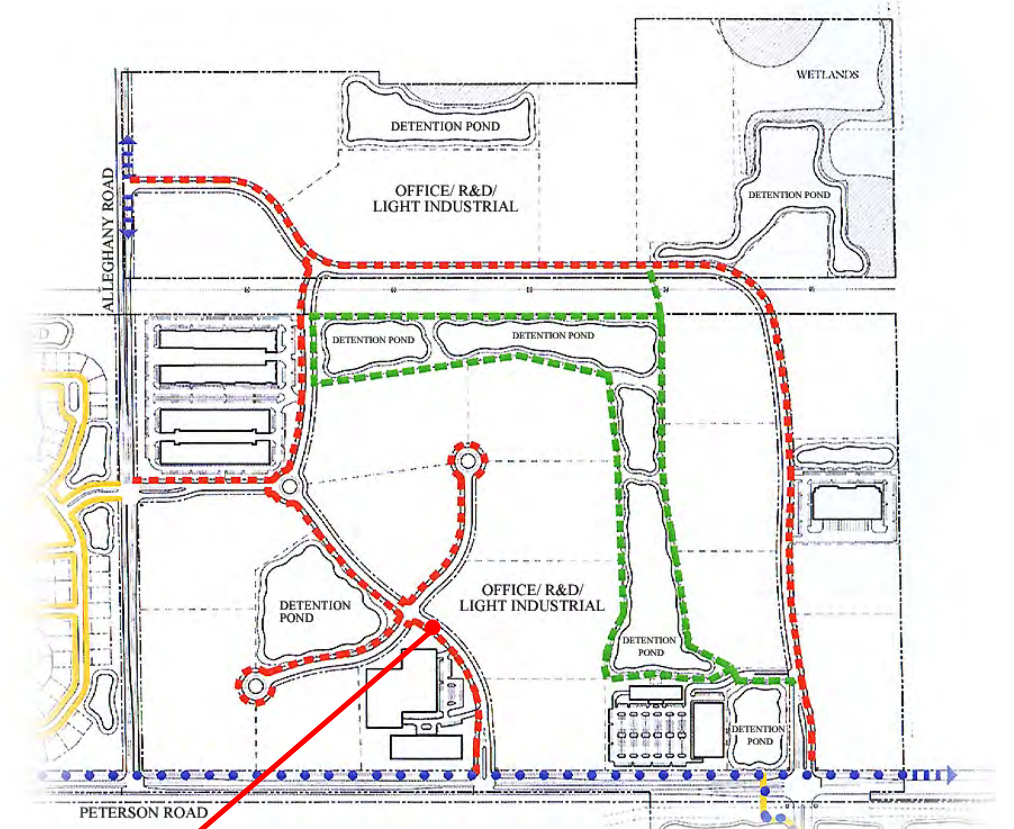
Botanical Name	Common Name	Size
Amelanchier canadensis	Serviceberry	6' ht.
Cercis canadensis	Redbud	6' ht.
Cornus mas	Corneliancherry Dogwood	6' ht.
Crataegus spp.	Hawthorn varieties	6' ht.
Malus spp.	Crabbapple Varieties	6' ht.
Viburnum prunifolium	Blackhaw Viburnum	6' ht.

C. Shrubs

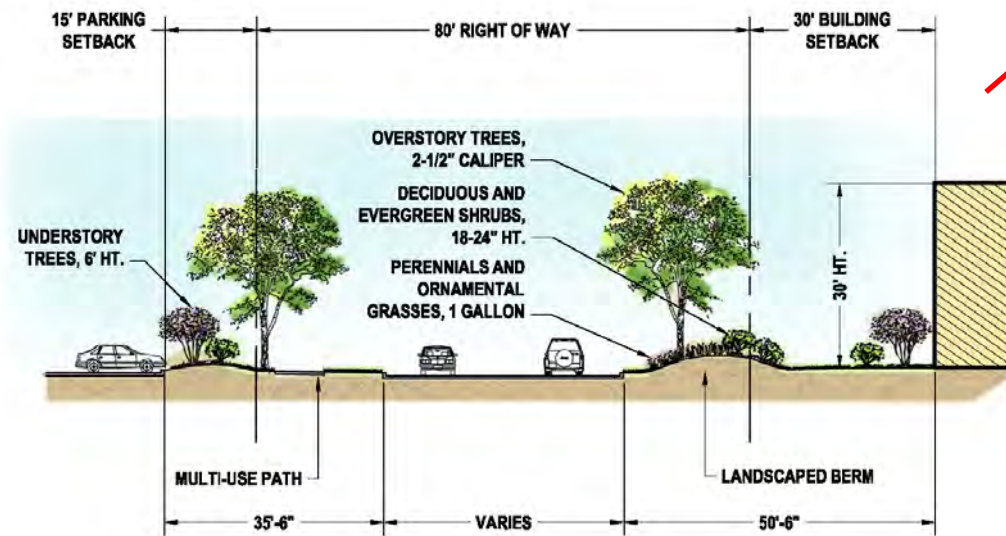
Botanical Name	Common Name	Size
Aronia prunifolia	Chokeberry	24"
Cornus sericea	Redosier Dogwood	24"
Forsythia spp.	Forsythia Varieties	24"
Hamamelis virginiana	Witchhazel	24"
Hydrangea spp.	Hydrangea Varieties	18"
Ilex verticillata	Winterberry Varieties	18"
Juniperus spp.	Juniper Varieties	24"
Physocarpus opulifolius	Ninebark	24"
Rhus aromatica 'gro-low'	Gro-Low Sumac	18"
Rosa spp.	Rose varieties	18"
Spiraea spp.	Spiraea Varieties	18"
Syringa meyeri 'Palibin'	Dwarf Korean Lilac	24"
Syringa vulgaris	Common Lilac	24"
Taxus densiformis	Dense Yew	18"
Viburnum dentatum	Arrowwood Viburnum	18"

D. Perennials, Grasses, and Forbs

Botanical Name	Common Name	Size
Andropogon scoparius	Little Bluestem Grass	Plugs or seeding
Asclepias syriaca	Common Milkweed	Plugs or seeding
Aster azureus	Sky-Blue Aster	Plugs or seeding
Aster laevis	Smooth Blue Aster	Plugs or seeding
Baptisia leucantha	White Wild Indigo	Plugs or seeding
Bouteloua curtipendula	Side Oats Grama	Plugs or seeding
Heliopsis helianthoides	False Sunflower	Plugs or seeding
Liatris pycnostachya	Prairie Blazing Star	Plugs or seeding
Monarda fistulosa	Wild Bergamot	Plugs or seeding
Penstemon digitalis	Foxglove Beard Tongue	Plugs or seeding
Rudbeckia hirta	Black-Eyed Susan	Plugs or seeding
Rudbeckia subtomentosa	Sweet Black-Eyed Susan	Plugs or seeding
Silphium terebinthinaceum	Prairie Dock	Plugs or seeding
Solidago rigida	Stiff Goldenrod	Plugs or seeding
Asclepias tuberosa	Butterfly Milkweed	Plugs or seeding
Cassia fasciculata	Partridge Pea	Plugs or seeding
Coreopsis palmata	Prairie Coreopsis	Plugs or seeding
Helianthus occidentalis	Western Sunflower	Plugs or seeding
Silphium laciniatum	Compass Plant	Plugs or seeding
Sporobolus heterolepis	Prairie Dropseed	Plugs or seeding



Example of ROW cross-section for interior roads in Office/R&D/Industrial area



Circulation Plan page 7

II. Landscaping and Landscape Architecture

D. Interior Roadways - Retail/Commercial



Landscaping within the retail/commercial road right-of-way will be more traditional in nature although still integrating the use of natural and adaptive materials wherever possible.

In strategically located streetscapes, boulevards, roundabouts and commercial pedestrian courts shall be designed to improve driving vistas and safety. These features shall be incorporated to improve the functions of traffic flow, speed and pedestrian separation.

Roundabouts or other landscape areas shall be located at vital intersections and terminus points of featured spaces or buildings. Radius minimums for roundabouts shall be 65 feet for minor conditions and 75 feet for major intersections that carry heavier traffic loads. The recommended landscape character will emphasize the use of native plant materials in natural areas and more formal designs in the commercial areas. Streetscape plantings will be sympathetic to the specific land uses.

The following planning standards have been developed for the interior roads of the retail/commercial area.

PLANNING STANDARDS: RETAIL/COMMERCIAL INTERIOR ROADS

BUILDING SETBACKS:

Core Retail -

Interior Streets: 0 ft.
Interior Side Yards: 0 ft.
Interior Rear Yards: 0 ft.

Outlots -

Interior Streets: 20 ft.
Interior Side Yards: 15 ft. + 1 ft./each 2 feet of bldg. ht. over 30 ft
Interior Rear Yards: 15 ft. + 1 ft./each 2 feet of bldg. ht. over 30 ft

PARKING SETBACKS:

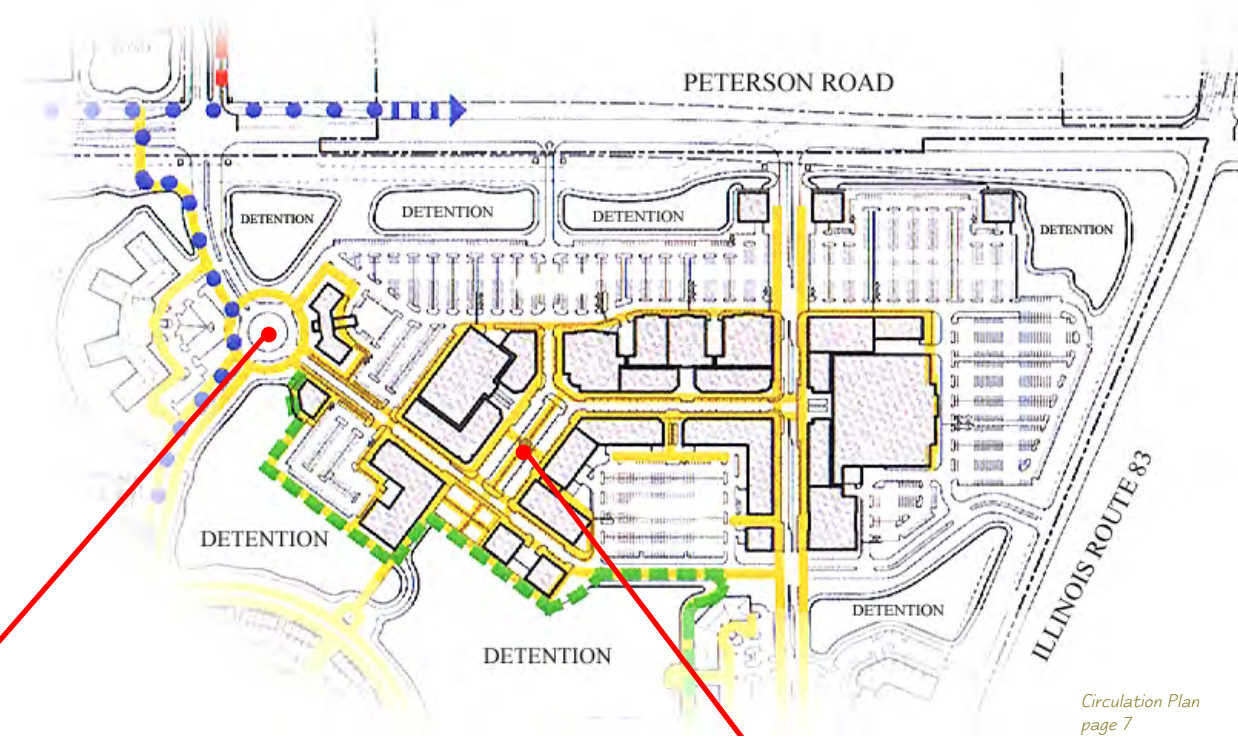
Core Retail-

Interior Streets: 5 ft. *
Interior Side Yards: 0 ft. (common parking) to 10 ft.
Interior Rear Yards: 0 ft. (common parking) to 10 ft.

* Does not apply to on-street parking.

Outlots -

Interior Streets: 15 ft.
Interior Side Yards: 0 - 5 ft.
Interior Rear Yards: 0 - 5 ft.



Example of boulevard design concept



Example of decorative roundabout



II. Landscaping and Landscape Architecture

D. Interior Roadways - Retail/Commercial



The planting palette below has been designed for the interior roads of the Retail/Commercial area.

PLANTING PALETTE: RETAIL/COMMERCIAL INTERIOR ROADS

A. Overstory Trees

Botanical Name	Common Name	Size
Acer saccharum	Sugar Maple	2-1/2" caliper
Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	2-1/2" caliper
Celtis occidentalis	Hackberry	2-1/2" caliper
Gleditsia tricanthos inermis	Thornless Honeylocust	2-1/2" caliper
Gymnocladus dioicis	Kentucky Coffeetree	2-1/2" caliper
Platanus occidentalis	American Planetree	2-1/2" caliper
Quercus bicolor	Swamp White Oak	2-1/2" caliper
Quercus ellipsoidalis	Northern Pin Oak	2-1/2" caliper
Quercus macrocarpa	Bur Oak	2-1/2" caliper
Quercus rubra	Red Oak	2-1/2" caliper
Taxodium distichum	Common Baldcypress	2-1/2" caliper
Tilia americana	American Linden	2-1/2" caliper
Ulmus x 'Morton Glossy'	Triumph Elm	2-1/2" caliper
Ulmus x 'Prospector'	Prospector Elm	2-1/2" caliper

B. Understory Trees

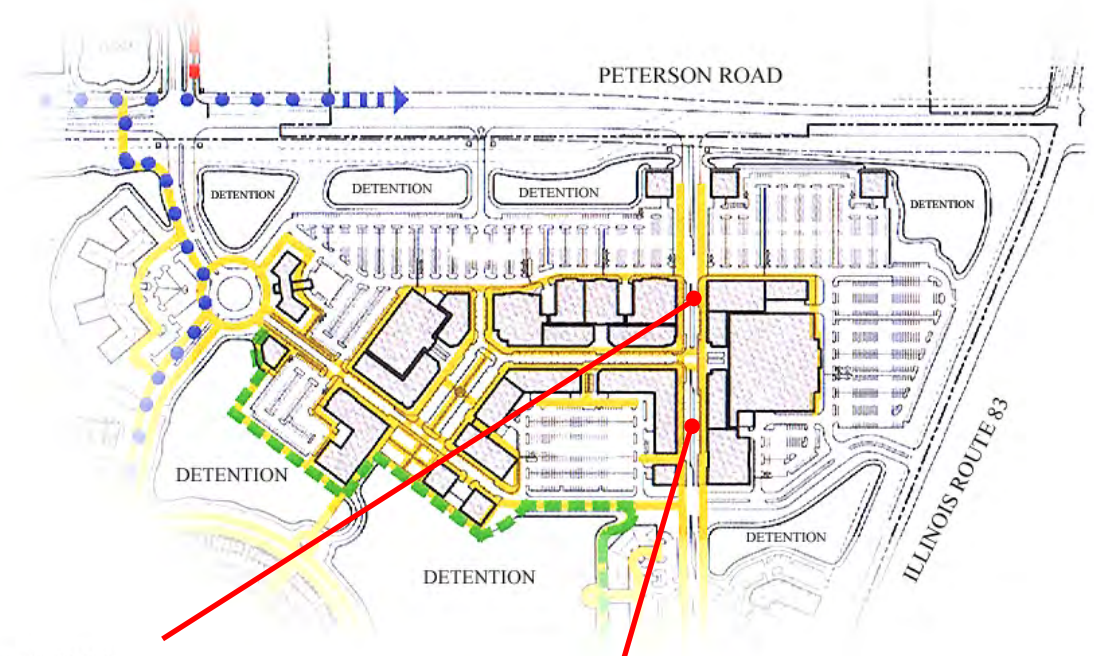
Botanical Name	Common Name	Size
Amelanchier canadensis	Serviceberry	6' ht.
Cercis canadensis	Redbud	6' ht.
Cornus mas	Corneliancherry Dogwood	6' ht.
Crataegus spp.	Hawthorn varieties	6' ht.
Malus spp.	Crabapple Varieties	6' ht.
Viburnum prunifolium	Blackhaw Viburnum	6' ht.

C. Shrubs

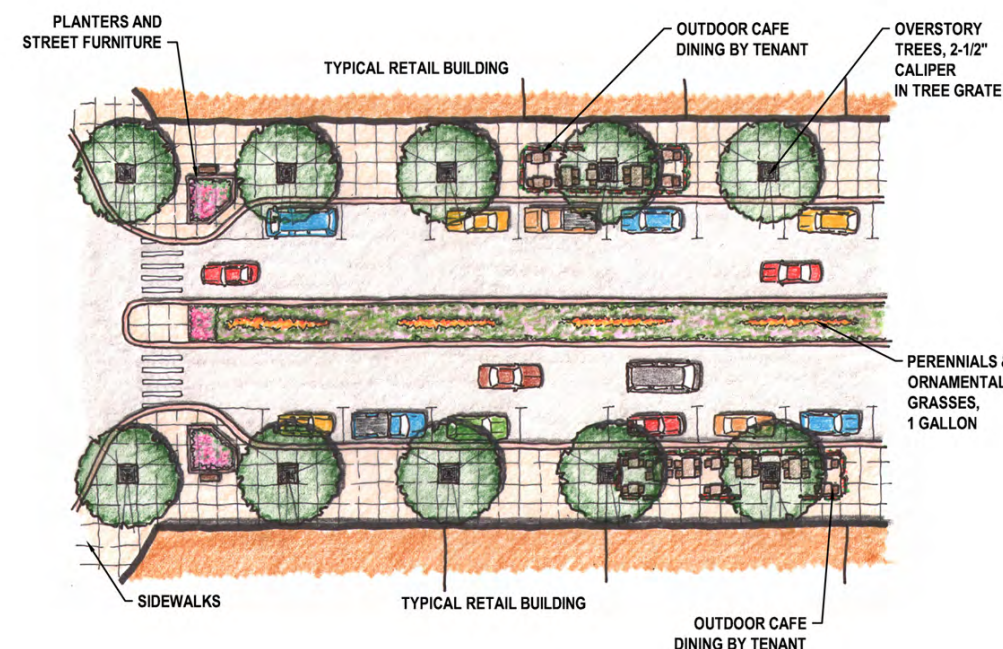
Botanical Name	Common Name	Size
Aronia prunifolia	Chokeberry	24" ht.
Cornus sericea	Redosier Dogwood	24" ht.
Forsythia spp.	Forsythia Varieties	24" ht.
Hamamelis virginiana	Witchhazel	24" ht.
Hydrangea spp.	Hydrangea Varieties	18" ht.
Ilex verticillata	Winterberry	18" ht.
Juniperus spp.	Juniper Varieties	24" ht.
Physocarpus opulifolius	Ninebark	24" ht.
Rhus aromatica 'gro-low'	Gro-Low Sumac	18" ht.
Rosa spp.	Rose Varieties	18" ht.
Spiraea spp.	Spiraea Varieties	18" ht.
Syringa meyeri 'Palibin'	Dwarf Korean Lilac	24" ht.
Syringa vulgaris	Common Lilac	24" ht.
Taxus densiformis	Dense Yew	18" ht.
Viburnum dentatum	Arrowwood Viburnum	24" ht.

D. Perennials, Grasses, and Forbs

Botanical Name	Common Name	Size
Andropogon scoparius	Little Bluestem Grass	Plugs or seeding
Asclepias syriaca	Common Milkweed	Plugs or seeding
Aster azureus	Sky-Blue Aster	Plugs or seeding
Aster laevis	Smooth Blue Aster	Plugs or seeding
Baptisia leucantha	White Wild Indigo	Plugs or seeding
Bouteloua curtipendula	Side Oats Grama	Plugs or seeding
Heliopsis helianthoides	False Sunflower	Plugs or seeding
Liatris pycnostachya	Prairie Blazing Star	Plugs or seeding
Monarda fistulosa	Wild Bergamot	Plugs or seeding
Penstemon digitalis	Foxglove Beard Tongue	Plugs or seeding
Rudbeckia hirta	Black-Eyed Susan	Plugs or seeding
Rudbeckia subtomentosa	Sweet Black-Eyed Susan	Plugs or seeding
Silphium terebinthinaceum	Prairie Dock	Plugs or seeding
Solidago rigida	Stiff Goldenrod	Plugs or seeding
Asclepias tuberosa	Butterfly Milkweed	Plugs or seeding
Cassia fasciculata	Partridge Pea	Plugs or seeding
Coreopsis palmata	Prairie Coreopsis	Plugs or seeding
Helianthus occidentalis	Western Sunflower	Plugs or seeding
Silphium lacinatedum	Compass Plant	Plugs or seeding
Sporobolus heterolepis	Prairie Dropseed	Plugs or seeding



Circulation Plan page 7



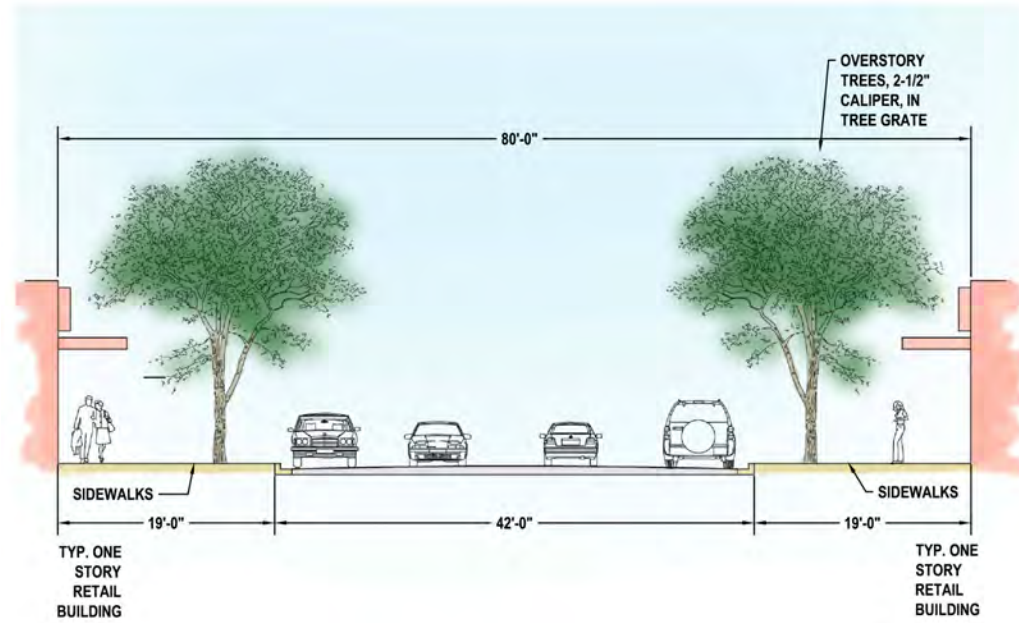
Example of landscape plan along interior retail road



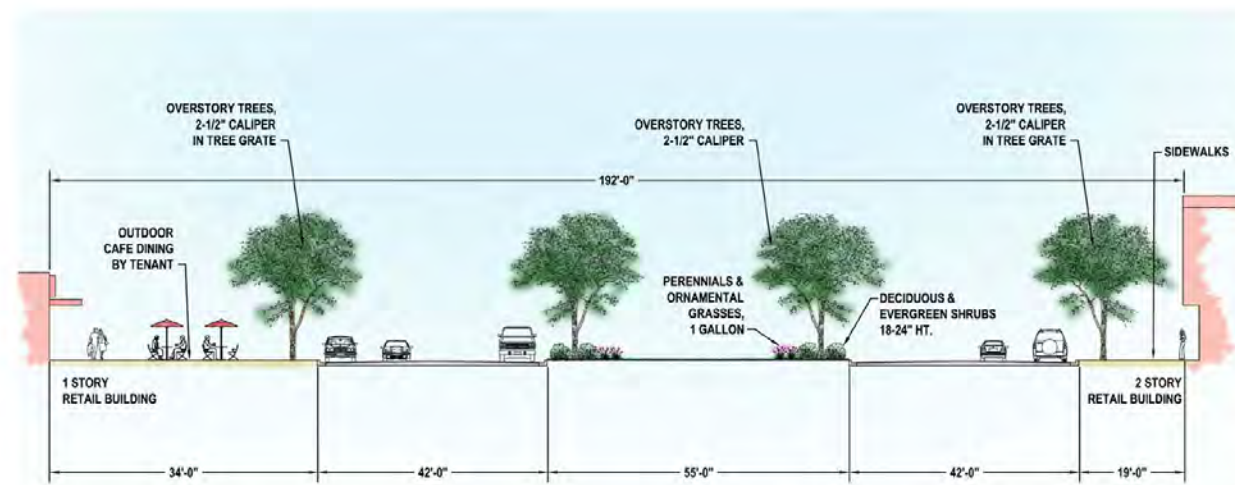
Example of retail median landscaping.

II. Landscaping and Landscape Architecture

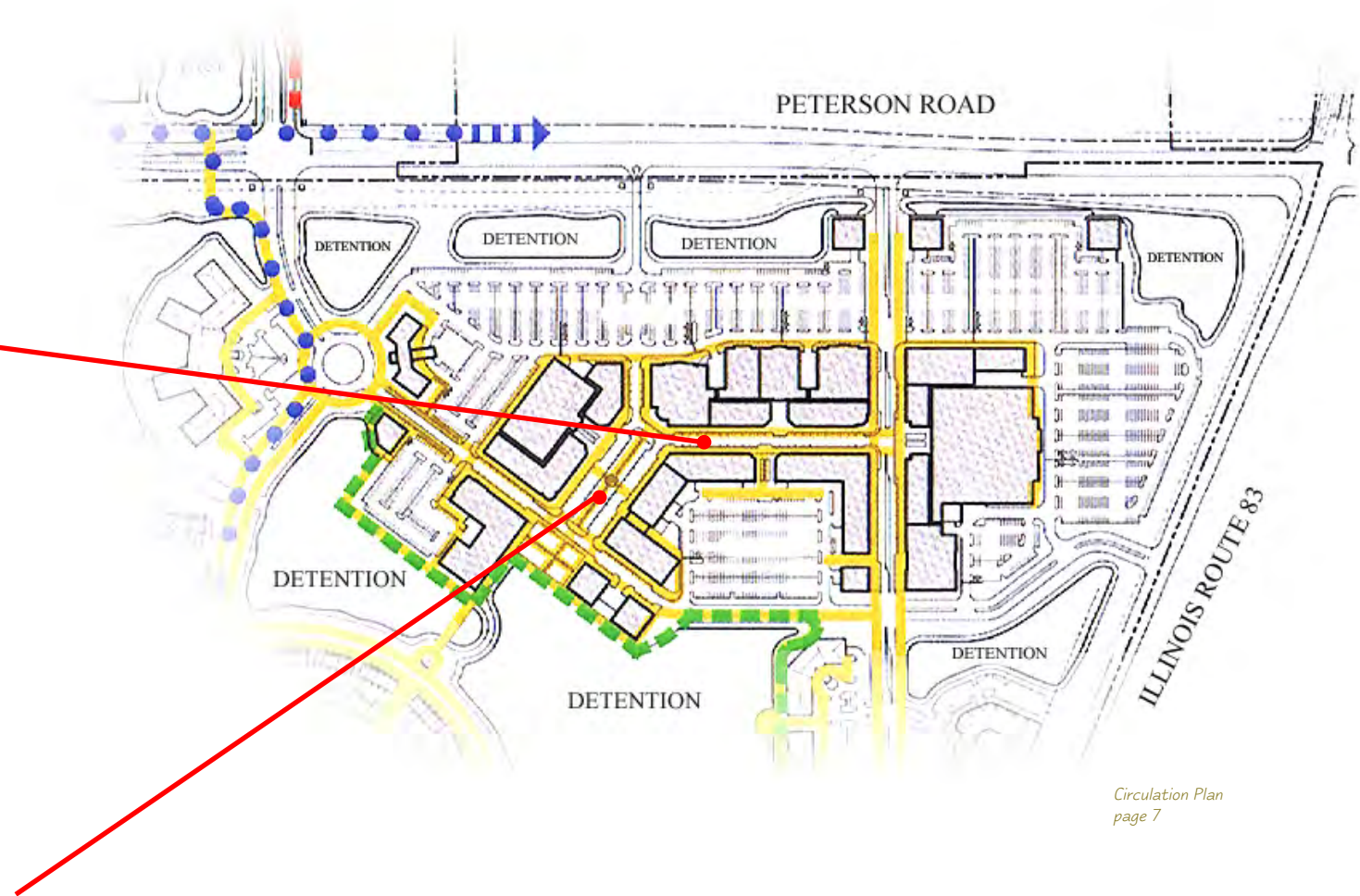
D. Interior Roadways - Retail/Commercial



Example of interior road section for one-story buildings in the retail area.



Example of interior road section for two-story buildings in the retail area.



Circulation Plan
page 7

II. Landscaping and Landscape Architecture

D. Interior Roadways - Residential



Residential right-of-ways will use native or adaptive plant material. A traditional streetscape with lines of trees and mowed grass parkways will be acceptable. A bicycle path will be provided within the streets through out the residential areas.

The following planning standards have been developed for the interior roads of the single family detached residential and multi-family residential areas.

PLANNING STANDARDS: RESIDENTIAL INTERIOR ROADS

BUILDING SETBACKS: DETACHED/ATTACHED SINGLE FAMILY

Interior Street Setbacks: 20 ft
 Interior Side Yards: 7 ft. min./14 ft. combined
 Corner Side Yards: 20 ft.
 Interior Rear Yards: 15 ft.

BUILDING SETBACKS: MULTI-FAMILY

Interior Street Setbacks: 20 ft.

PARKING SETBACKS: MULTI-FAMILY

Interior Street Setbacks: 10 ft.

The planting palette below has been designed for the interior roads of the Residential areas.

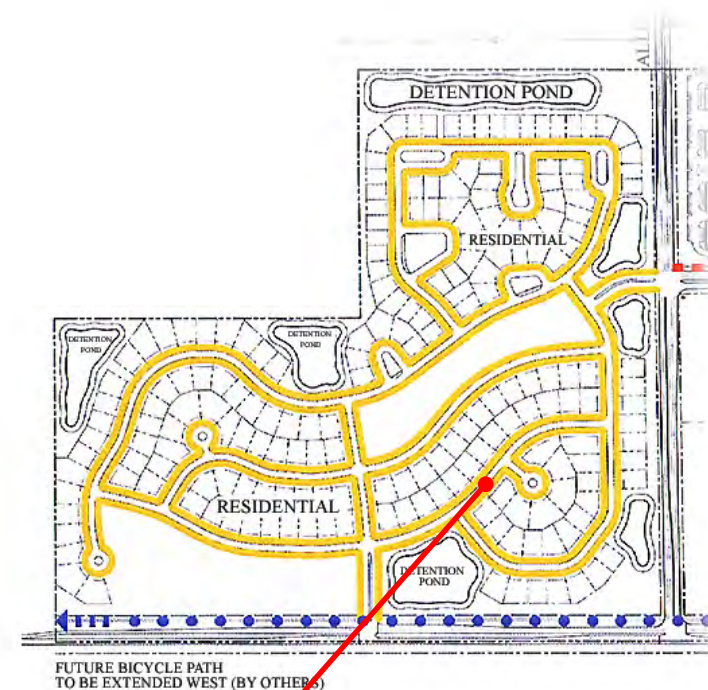
PLANTING PALETTE: RESIDENTIAL INTERIOR ROADS

A. Overstory Trees

Botanical Name	Common Name	Size
Acer x freemanii 'Autumn Blaze'	Freemanii Maple	2-1/2" caliper
Acer miyabe 'State Street'	State Street Maple	2-1/2" caliper
Acer saccharum	Legacy Sugar Maple	2-1/2" caliper
Celtis occidentalis	Hackberry	2-1/2" caliper
Ginkgo biloba	Ginkgo (Male)	2-1/2" caliper
Gymnocladus dioica	Kentucky Coffee Tree	2-1/2" caliper
Gleditsia triacanthos inermis	Thornless Honeylocust	2-1/2" caliper
Quercus bicolor	Swamp White Oak	2-1/2" caliper
Quercus rubra	Red Oak	2-1/2" caliper
Taxodium distichum	Bald Cypress	2-1/2" caliper
Tilia americana	American Linden	2-1/2" caliper
Tilia americana 'Redmond'	Redmond Linden	2-1/2" caliper
Ulmus x 'Morton Glossy'	Triumph Elm	2-1/2" caliper
Ulmus x 'Prospector'	Prospector Elm	2-1/2" caliper

B. Understory Trees

Botanical Name	Common Name	Size
Amelanchier canadensis	Shadblow Serviceberry	6' ht.
Cercis canadensis	Red bud	6' ht.
Crataegus spp.	Hawthorn Varieties	6' ht.
Cornus mas	Cornelian Cherry Dogwood	6' ht.
Malus spp.	Crabapple Varieties	6' ht.
Syringa reticulata 'Ivory Silk'	Japanese Tree Lilac	6' ht.
Viburnum prunifolium	Blackhaw Viburnum	6' ht.

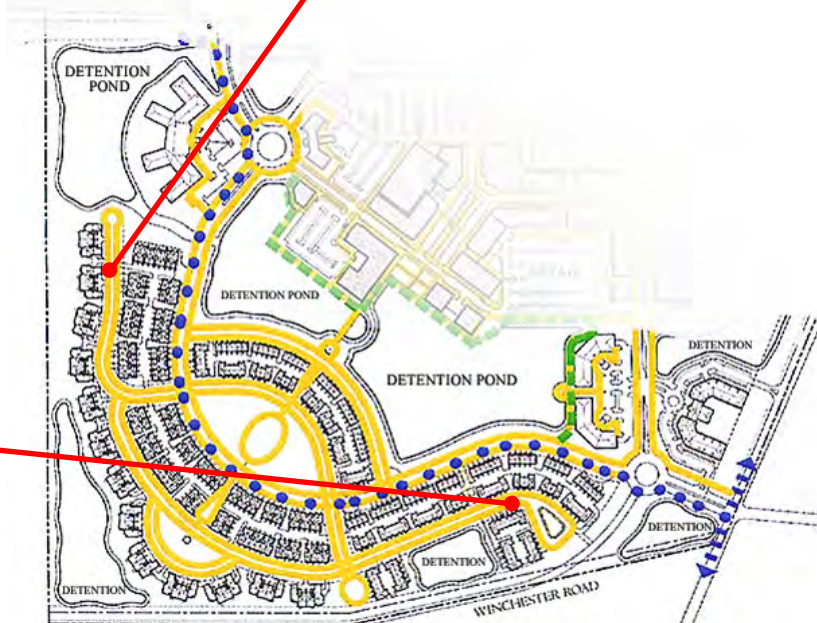


Example of planting along interior ROW in multi-family residential

Circulation Plan page 7



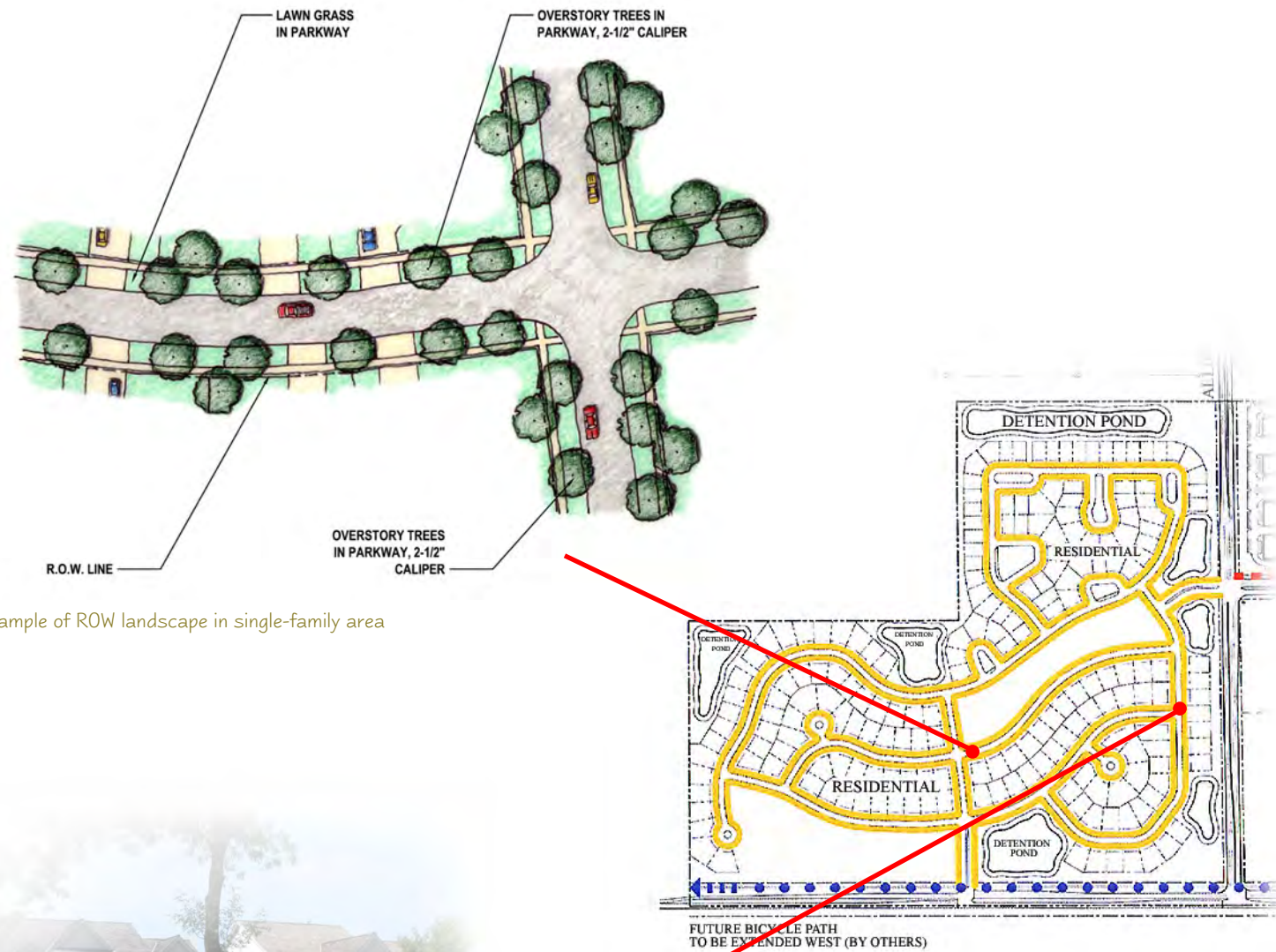
Planting palette for the interior roads of the residential areas



Example of planting along interior ROW in the multi-family residential

II. Landscaping and Landscape Architecture

D. Interior Roadways - Residential

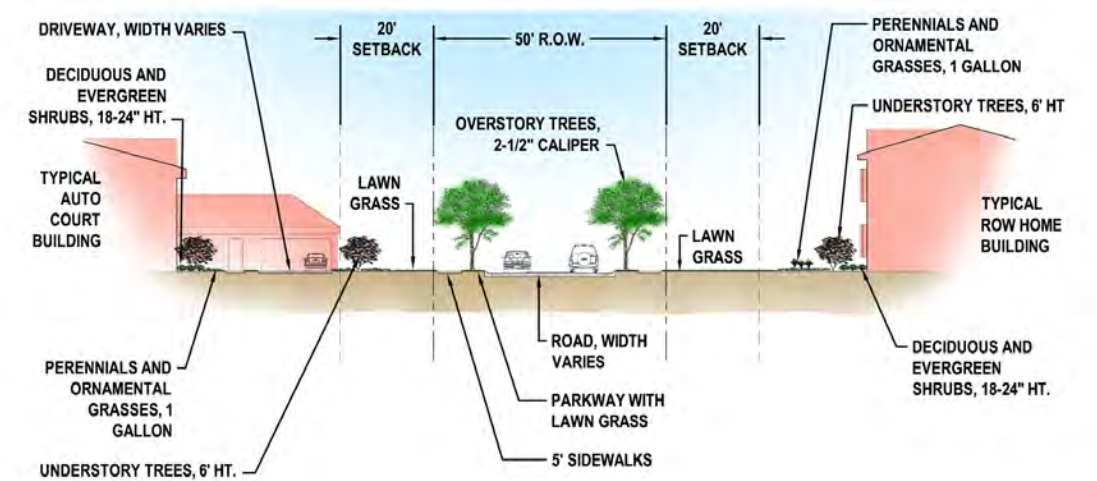


Example of ROW landscape in single-family area



Example of interior road landscape in single-family area.

Circulation Plan page 7



Example of landscape section in multi-family area

III. Site Landscaping and Design

A. General Overview



The intended landscape theme for individual site design is best described as a modified restoration of the native Illinois landscape. There will be a heavy emphasis on conservation and natural treatment of the landscape with dramatic enhancement in high visibility areas.

The main goals for landscaping within the development include:

1. Maintaining a high level of aesthetics using quality plant materials arranged in strong, colorful plant groupings and ensuring proper and consistent maintenance;
2. Creating a sustainable landscape emphasizing the use of BMP's, native and non-invasive materials, using controlled irrigation and drought tolerant plantings, and encouraging natural stormwater management through utilization of grass filters and minimized catch basin/piping systems.
3. Incorporating key design principles (e.g. site orientation, landscape layout, site grading) to frame and enhance architecture, to create seasonal interest and to provide screening where necessary.

All plant materials shall be selected from those listed within the approved plant material palette for **Cornerstone**. All plant materials shall conform to the minimum plant sizes as per the approved palette and shall conform to the American Standard For Nursery Stock - most recent edition.



Example of berm planting as landscape screen



Example of a landscaping with adaptive trees and shrubs



Conceptual Master Plan page 5



Example of rear foundation planting adjacent to open space.



Example of front foundation planting.

III. Site Landscaping and Design

B. Office /R&D/ Industrial



The following planning standards have been developed for site landscape design in the Office/R&D/Industrial area.

PLANNING STANDARDS: OFFICE/R&D/INDUSTRIAL

LAND USE DENSITIES

Office/R&D: 1.0 - 2.0 *
 Industrial/Manufacturing: .6 FAR
 * With Special Approval

BUILDING SETBACKS

Interior Street: 30 ft.
 Side Yard: 15 ft.+ 1 ft. per 2 ft. >30 ft. ht.
 Rear Yard: 15 ft.+ 1 ft. per 2 ft. >30 ft. ht.

PARKING SETBACKS

Interior Street: 15 ft.
 Side Yard: 0 (common parking) to 10 ft
 Rear Yard: 0 (common parking) to 10 ft.

MAXIMUM IMPERVIOUS SURFACE

Office/R&D: 80%
 Industrial/Manufacturing: 85%

FOUNDATION LANDSCAPING

A minimum of 10 feet of landscaped area shall be provided around 75% of all principal building foundations, excluding areas used for loading, entries and/or service areas.

BEST MANAGEMENT PRACTICES (BMPs)

Natural storm water management will be encouraged through use of bio-swales and minimized catch basin-piping systems. LEEDs will be encouraged as part of the approach to design.

PARKING AND CIRCULATION

Parking lots shall be located to provide easy pedestrian circulation to the buildings they serve and to minimize visual impacts to adjacent properties.

Service areas shall be located to provide easy access to adjacent streets. Public vehicular transportation should not route through service drives unless adequate provision has been made to the driveway width to insure safety.

When major buildings are clustered around connecting parking lots, sidewalks will be provided to connect the parking modules, and when the configuration makes it difficult for pedestrians to safely access from building to building, a clearly defined pedestrian pathway will connect them.

All parking areas that have more than 90 spaces will feature:

1. Major circulation drives with little or no parking. (Usually adjacent to the structure it serves and for pick up areas). Minimum circulation drive shall be 30' wide not including parking or pickup drive.
2. Parking aisles with parking access, minimum 24' wide.
3. Passenger pick-up and drop-off areas, where incorporated, shall be designed so as to not interfere with traffic circulation and provide adequate space for safe loading or unloading of passengers.



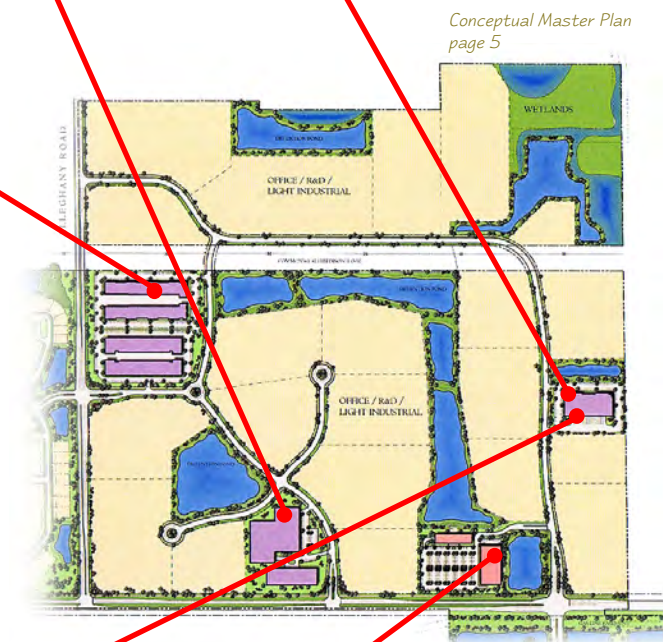
Example of landscaped research and development building



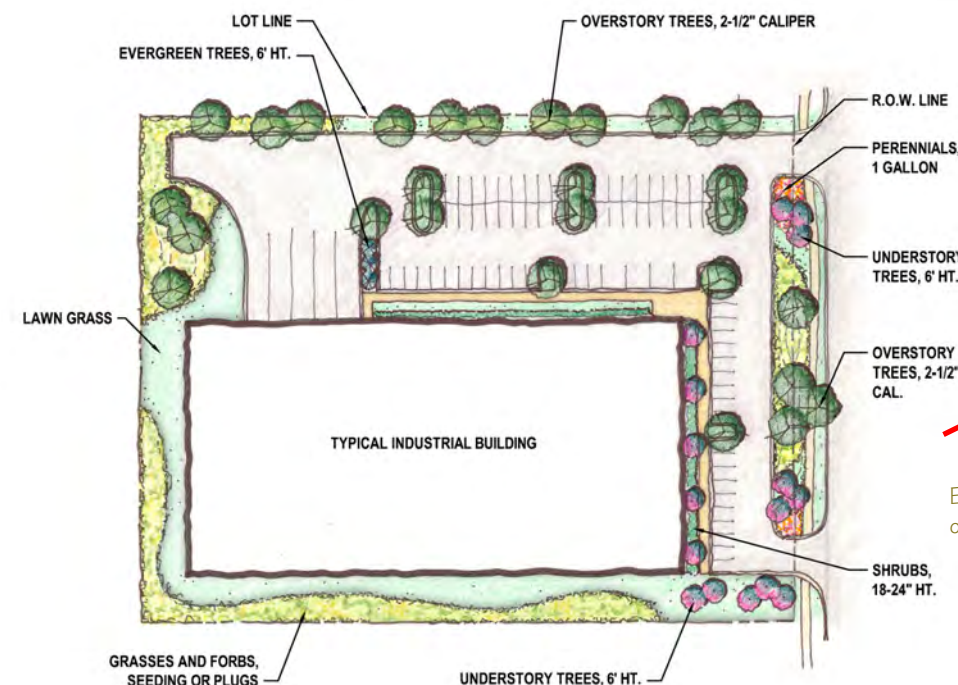
Example of landscaped industrial building



Example of landscaped industrial building



Conceptual Master Plan page 5



Example of industrial lot landscape concept.

Example of landscaped office building



III. Site Landscaping and Design

B. Office /R&D/ Industrial



PARKING LOT LANDSCAPING

Wherever possible, the design of large parking lots should include landscape islands of significant size (324 s.f. minimum) to control traffic and break up large expanses of pavement. A minimum green area of 5% shall be provided within all parking lots containing 50 or more cars.

Landscape islands within parking lots shall contain native or adaptive trees, underplanted with native shrubs, grasses and/or perennials. All plant materials shall be selected from the approved plant material palette.

Earthen berms shall be encouraged to screen parking lots from street views.

All parking lot landscaping shall be placed to prevent any visual sight line encumbrances in accordance with Village ordinances.

SHARED PARKING

Shared parking is the use of parking spaces to serve two or more individual land uses without conflict. The goal of a shared parking analysis is to find the balance between providing adequate parking to support a mix of uses within a development and minimizing the negative aspects of excessive land area dedicated to pavement. Shared parking shall be allowed in Office/R&D/Industrial areas.

LANDSCAPE SCREENING

Building mechanical systems located at ground level shall be concealed via planting, berming or other means. Mechanical equipment located on exterior walls shall be adequately screened by landscaping or trellising.

Loading shall be located so as to minimize visibility from public or private streets. Loading areas shall be properly screened with landscaping and berming to provide for year-round screening when exposed to a public street.

Earthen berms or other means shall be required to screen loading areas from street views.



(A)

Example of berms and landscaping used to screen parking and loading areas



(B)

Example of landscape used to screen loading areas and conceal mechanical systems



(C)

Example of parking lot landscape screening

III. Site Landscaping and Design

B. Office /R&D/ Industrial



Conceptual Master Plan page 5



D Example of parking lot landscape screening



E Example of parking lot landscape screening

III. Site Landscaping and Design

B. Office /R&D/ Industrial



The planting palette below has been designed for use in the Office/R&D/Industrial areas.

PLANTING PALETTE: OFFICE/R&D/INDUSTRIAL

A. Overstory Trees

Botanical Name	Common Name	Size
Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	2-1/2" caliper
Acer miyabe 'State Street'	State Street Maple	2-1/2" caliper
Acer saccharum	Legacy Sugar Maple	2-1/2" caliper
Alnus glutinosa	European Black Alder	10' ht.
Betula populifolia 'Whitespire Sr.'	Whitespire Sr. Gray Birch	10' ht.
Celtis occidentalis	Hackberry	2-1/2" caliper
Ginkgo biloba	Ginkgo (Male)	2-1/2" caliper
Gymnocladus dioica	Kentucky Coffee Tree	2-1/2" caliper
Gleditsia triacanthos inermis	Thornless Honeylocust	2-1/2" caliper
Populus tremuloides	Quaking Aspen	2-1/2" caliper
Pyrus calleryana 'Chanticleer'	Chanticleer Pear	2-1/2" caliper
Pyrus calleryana 'Aristocrat'	Aristocrat Pear	2-1/2" caliper
Quercus bicolor	Swamp White Oak	2-1/2" caliper
Quercus ellipsoidalis	Northern Pin Oak	2-1/2" caliper
Quercus rubra	Red Oak	2-1/2" caliper
Quercus robur	English Oak	2-1/2" caliper
Taxodium distichum	Bald Cypress	2-1/2" caliper
Tilia americana	American Linden	2-1/2" caliper
Tilia americana 'Redmond'	Redmond Linden	2-1/2" caliper
Ulmus x 'Morton Glossy'	Triumph Elm	2-1/2" caliper
Ulmus 'Prospector'	Prospector Elm	2-1/2" caliper

B. Understory Trees

Botanical Name	Common Name	Size
Amelanchier canadensis	Shadblow Serviceberry	6' ht.
Amelanchier x grandiflora	Apple Serviceberry	6' ht.
Acer palmatum 'Bloodgood'	Japanese Bloodgood Maple	6' ht.
Carpinus caroliniana	American Hornbeam	6' ht.
Cercis canadensis	Red bud	6' ht.
Crataegus crusgalli 'Inermis'	Thornless Cockspur Hawthorn	6' ht.
Cornus mas	Cornelian Cherry Dogwood	6' ht.
Cornus alternifolia	Pagoda Dogwood	6' ht.
Magnolia x loebnerii 'Merill'	Dr. Merrill Magnolia	6' ht.
Magnolia stellata	Star Magnolia	6' ht.
Malus floribunda	Japanese Crabapple	6' ht.
Malus 'Donald Wyman'	Donald Wyman Crabapple	6' ht.
Malus 'Red Jewel'	Red Jewel Crabapple	6' ht.
Malus 'Schmidt Cutleaf'	Schmidt Cutleaf Crabapple	6' ht.
Malus sargentii	Sargent Crabapple	6' ht.
Syringa reticulata 'Ivory Silk'	Japanese Tree Lilac	6' ht.
Viburnum prunifolium	Blackhaw Viburnum	6' ht.

C. Evergreen Trees

Botanical Name	Common Name	Size
Abies concolor	White Fir	6' ht.
Picea abies	Norway Spruce	6' ht.
Picea glauca 'Densata'	Black Hills Spruce	6' ht.
Pseudotsuga menziesii	Douglas Fir	6' ht.
Pinus nigra	Austrian Pine	6' ht.
Picea pungens	Green Colorado Spruce	6' ht.
Picea pungens 'Glauca'	Colorado Blue Spruce	6' ht.
Pinus sylvestris	Scotch Pine	6' ht.
Pinus strobus	Eastern White Pine	6' ht.
Tsuga canadensis	Hemlock	6' ht.

D. Deciduous Shrubs

Botanical Name	Common Name	Size
Aronia melanocarpa	Glossy Black Chokeberry	24"
Cornus alba 'Bailhala'	Ivory Halo Dogwood	18"
Cotoneaster apiculatus	Cranberry Cotoneaster	18"
Cotoneaster x Hesseii	Hesseii Cotoneaster	18"
Cotoneaster lucidus	Hedge Cotoneaster	24"
Corylus americana	American Hazelnut	24"
Cornus sericea 'Isanti'	Isanti Dogwood	24"
Euonymus alata 'Compactus'	Dwarf Winged Euonymus	24"
Fothergilla gardenii	Dwarf Fothergilla	18"
Forsythia x 'Sunrise'	Sunrise Forsythia	24"
Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea	18"
Hydrangea paniculata 'Tardiva'	Tardiva Hydrangea	24"
Hydrangea paniculata 'Grandiflora'	Pee Gee Hydrangea	24"
Hydrangea paniculata 'Unique'	Unique Hydrangea	24"
Hydrangea quercifolia 'Alice'	Alice Oakleaf Hydrangea	24"
Hamamelis vernalis	Vernal Witch Hazel	24"
Ilex verticillata 'Red Sprite'	Winterberry	18"
Myrica pennsylvanica	Bayberry	24"
Physocarpus 'Summer Wine'	Summer Wine Ninebark	18"
Potentilla fruticosa 'McKay's White'	McKay's White Potentilla	18"
Rhus aromatica 'Gro-Low'	Gro-Low Sumac	18"
Ribes alpinum 'Green Mound'	Green Mound Currant	18"
Rosa spp.	Rose Varieties	18"
Spiraea spp.	Spiraea Varieties	18"
Syringa meyeri 'Palibin'	Dwarf Korean Lilac	24"
Syringa patula 'Miss Kim'	Miss Kim Lilac	24"
Viburnum carlesii	Koreanspice Viburnum	24"
Viburnum dentatum	Arrowwood Viburnum	24"
Viburnum x judii	Judd Viburnum	24"
Viburnum lantana 'Mohican'	Mohican Viburnum	24"
Weigela florida 'Wine and Roses'	Wine and Roses Weigela	18"

E. Evergreen Shrubs

Botanical Name	Common Name	Size
Buxus 'Green Velvet'	Green Velvet Boxwood	18"
Juniperus chinensis 'Sea Green'	Sea Green Juniper	24"
Juniperus chinensis 'Kallays Compacta'	Kallays Compact Juniper	24"
Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	24"
Juniperus sabina 'Buffalo'	Buffalo Juniper	24"
Pinus mugo mugo	Dwarf Mugo Pine	24"
Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	24"
Thuja occidentalis 'Techny'	Techny Arborvitae	36"
Taxus media 'Hicks'	Hicks Yew	18"
Taxus x media 'Runyan'	Runyan Dense Yew	18"

F. Perennials and Ornamental Grasses

Botanical Name	Common Name	Size
Astilbe spp.	Astilbe Varieties	1 gallon
Anemone japonica	Japanese Anemone	1 gallon
Alchemilla mollis	Lady's Mantle	1 gallon
Achillea spp.	Yarrow Varieties	1 gallon
Aster novae-angliae	Purple Dome New England Aster	1 gallon
Artemisia schmidtiana 'Silver Mound'	Silver Mound	1 gallon
Calamagrostis acutifolia	Feather Reed Grass	1 gallon
Cimicifuga ramosa 'Hillside Black Beauty'	Bugbane	1 gallon
Coreopsis spp.	Coreopsis Varieties	1 gallon
Dianthus spp.	Dianthus Varieties	1 gallon
Dicentra spp.	Bleeding Heart Varieties	1 gallon
Echinacea spp.	Coneflower Varieties	1 gallon
Festuca 'Elijah Blue'	Elijah Blue Fescue	1 gallon
Geranium spp.	Bloody Cranesbill Varieties	1 gallon
Hemerocallis spp.	Daylily Varieties	1 gallon
Helictotrichon sempervirens	Blue Oat Grass	1 gallon
Heuchera spp.	Coral Bell Varieties	1 gallon
Hosta spp.	Hosta Varieties	1 gallon
Lavendula angustifolia 'Munstead'	Munstead Lavender	1 gallon
Ligularia 'The Rocket'	Rocket Ligularia	1 gallon
Liatris spp.	Gayfeather Varieties	1 gallon
Miscanthus spp.	Maiden Grass Varieties	1 gallon
Nepeta spp.	Catmint Varieties	1 gallon
Panicum spp.	Switchgrass Varieties	1 gallon
Pennisetum spp.	Fountain Grass Varieties	1 gallon
Perovskia spp.	Russian Sage Varieties	1 gallon
Pulmonaria longifolia 'High Contrast'	High Contrast Lungwort	1 gallon
Rudbeckia fulgida 'Goldstrum'	Black-eyed Susan	1 gallon
Sedum 'Autumn Joy'	Autumn Joy Sedum	1 gallon
Sporobolus heterolepis	Prairie Dropseed	1 gallon
Salvia spp.	Sage Varieties	1 gallon
Veronica spp.	Speedwell Varieties	1 gallon

G. Groundcovers

Botanical Name	Common Name	Size
Euonymus fortunei 'Coloratus'	Purpleleaf Wintercreeper	3" pot
Hedera Helix	English Ivy	3" pot
Lamium maculatum	Spotted dead nettle	3" pot
Pachysandra terminalis	Japanese Flowering Spurge	3" pot
Vinca minor 'Darts Blue'	Dart's Blue Periwinkle	3" pot

H. Vines

Botanical Name	Common Name	Size
Clematis spp.	Clematis Varieties	1 gallon
Campsis radicans	Trumpet Vine	1 gallon
Hydrangea anomala petiolaris	Climbing Hydrangea	1 gallon

I. Annuals and Bulbs

Botanical Name	Common Name	Size
(As desired)		Top size

III. Site Landscaping and Design

C. Retail/Commercial



The following planning standards have been developed for site landscape design in Retail/Commercial areas.

PLANNING STANDARDS: RETAIL/COMMERCIAL

LAND USE DENSITIES

Core Retail: 2.0 FAR
Outlots: .4 FAR

MAXIMUM IMPERVIOUS SURFACE

Core Retail: 90%
Outlots: 85%

BUILDING SETBACKS

Core Retail -
Interior Street: 0 ft.
Side Yard: 0 ft.
Rear Yard: 0 ft.
Outlots -
Interior Street: 20 ft.
Side Yard: 15 ft.+1 ft. per 2 ft.>30 ft.
Rear Yard: 15 ft.+1 ft. per 2 ft.>30 ft.

PARKING SETBACKS

Core Retail -
Interior Street: 5 ft. (excluding on-street)
Side Yard: 0 (common parking) to 10 ft.
Rear Yard: 0 (common parking) to 10 ft.
Outlots -
Interior Street: 15 ft.
Side Yard: 5 ft.
Rear Yard: 5 ft.

FOUNDATION LANDSCAPING

No minimum foundation landscaping is required for retail/commercial buildings sharing a common wall. A minimum of 10 feet of landscaped area shall be provided around 75% of all retail/commercial outlot building foundations, excluding areas used for loading, entries and/or service areas. A free-standing retail/commercial building as part of and/or related to Core Retail uses shall be an exception to this requirement.

BEST MANAGEMENT PRACTICES (BMPs)

Natural storm water management will be encouraged through use of bio-swales and minimized catch basin-piping systems. LEEDs will be encouraged as part of the approach to design.

PARKING AND CIRCULATION

Parking areas should be located behind or along the side of building structures in Retail/Commercial areas where feasible, shall be located to sufficiently assure minimum visual impacts to adjacent properties and shall provide easy pedestrian circulation to the buildings they serve. On-street parking is exempt from this requirement.

Service areas shall be located to provide easy access to adjacent streets. Public vehicular transportation should not route through service drives unless adequate provision has been made to the driveway width to insure safety.

When major buildings are clustered around connecting parking lots, sidewalks will be provided to connect the parking modules, and when the configuration makes it difficult for pedestrians to safely access from building to building, a clearly defined pedestrian pathway will connect them.

All parking areas that have more than 90 spaces should feature:

1. Major circulation drives with little or no parking. (Usually adjacent to the structure it serves and for pick up areas). Minimum circulation drive shall be 30' wide not including parking or pickup drive.
2. Parking aisles with parking access, minimum 24' wide.
3. Passenger pickup and drop off areas, where incorporated, shall be designed so as to not interfere with traffic circulation and provide adequate space for safe loading or unloading of passengers.

Pedestrian areas should be safe and attractive through the use of lighting, landscaping and walkway paving definition, keeping in mind the following principles:

1. Sidewalks should be placed to all building entrances.
2. Protective landscaping and bollards should be provided where needed.
3. Textured sidewalk paving at crosswalks is encouraged.



(A) Example of a landscaped retail area



(B) Example of a landscaped retail area



(C) Example of a Retail/Commercial landscaping.

See next page for map locations.



D Example of retail outlet layout landscape concept.



III. Site Landscaping and Design

C. Retail/Commercial



PARKING LOT LANDSCAPING

Wherever possible, the planning design of large parking lots should include landscape islands of significant size (324 s.f. minimum) to control traffic and break up large expanses of pavement. A minimum green area of 5% shall be provided within all parking lots containing 50 or more cars.

Landscaped islands within parking lots shall contain native or adaptive trees, underplanted with native shrubs, grass and perennials. All plant materials shall be selected from the approved plant material palette.

Earthen berms shall be encouraged to screen parking lots from street views.

All parking lot landscaping shall be placed to prevent any visual sight line encumbrances in accordance with Village ordinances.

SHARED PARKING

Shared parking is the use of parking spaces to serve two or more individual land uses without conflict. The goal of a shared parking analysis is to find the balance between providing adequate parking to support a mix of uses within a development and minimizing the negative aspects of excessive land area dedicated to pavement. Shared parking shall be allowed in Retail/Commercial areas.

LANDSCAPE SCREENING

Ground level building mechanical systems shall be concealed via planting, berming or structural means. Mechanical equipment located on exterior walls shall be adequately screened by landscaping or trellising when viewed by the public realm.

Loading and storage areas shall be located to minimize nuisance to adjacent property owners and shall be located on the side or rear of buildings so as to reduce visibility from public streets. Loading areas shall be properly screened with landscaping and berming to provide year-round screening when exposed to a public street.

Earthen berms or other means shall be required to screen loading areas from street views.

Trash containers shall be located at the rear or side of all structures, shall be clustered together whenever possible and shall be fully accessible to collection vehicles. All trash areas shall be enclosed with materials that coordinate and compliment the main structure and/or shall be adequately screened via landscaping.



Example of plantings and pedestrian access in retail plaza



Example of naturalistic plantings in parking lot in retail area



Example of screened loading in retail area



Example of retail pedestrian walkway in retail area



Example of protective bollards in pedestrian walkway

Conceptual Master Plan page 5

III. Site Landscaping and Design

C. Retail/Commercial



The planting palette below has been designed for landscaping in Retail areas.

PLANTING PALETTE: RETAIL/COMMERCIAL

A. Overstory Trees

Botanical Name	Common Name	Size
<i>Acer x freemanii</i> 'Autumn Blaze'	Autumn Blaze Maple	2-1/2" caliper
<i>Acer miyabe</i> 'State Street'	State Street Maple	2-1/2" caliper
<i>Acer saccharum</i>	Legacy Sugar Maple	2-1/2" caliper
<i>Alnus glutinosa</i>	European Black Alder	10' ht.
<i>Betula populifolia</i> 'Whitespire Sr.'	Whitespire Sr. Gray Birch	10' ht.
<i>Celtis occidentalis</i>	Hackberry	2-1/2" caliper
<i>Ginkgo biloba</i>	Ginkgo (Male)	2-1/2" caliper
<i>Gymnocladus dioica</i>	Kentucky Coffee Tree	2-1/2" caliper
<i>Gleditsia triacanthos inermis</i>	Thornless Honeylocust	2-1/2" caliper
<i>Populus tremuloides</i>	Quaking Aspen	2-1/2" caliper
<i>Pyrus calleryana</i> 'Chanticleer'	Chanticleer Pear	2-1/2" caliper
<i>Pyrus calleryana</i> 'Aristocrat'	Aristocrat Pear	2-1/2" caliper
<i>Quercus bicolor</i>	Swamp White Oak	2-1/2" caliper
<i>Quercus ellipsoidalis</i>	Northern Pin Oak	2-1/2" caliper
<i>Quercus rubra</i>	Red Oak	2-1/2" caliper
<i>Quercus robur</i>	English Oak	2-1/2" caliper
<i>Taxodium distichum</i>	Bald Cypress	2-1/2" caliper
<i>Tilia americana</i>	American Linden	2-1/2" caliper
<i>Tilia americana</i> 'Redmond'	Redmond Linden	2-1/2" caliper
<i>Ulmus x 'Morton Glossy'</i>	Triumph Elm	2-1/2" caliper
<i>Ulmus 'Prospector'</i>	Prospector Elm	2-1/2" caliper

B. Understory Trees

Botanical Name	Common Name	Size
<i>Amelanchier canadensis</i>	Shadblow Serviceberry	6' ht.
<i>Amelanchier x grandiflora</i>	Apple Serviceberry	6' ht.
<i>Acer palmatum</i> 'Bloodgood'	Japanese Bloodgood Maple	6' ht.
<i>Carpinus caroliniana</i>	American Hornbeam	6' ht.
<i>Cercis canadensis</i>	Red bud	6' ht.
<i>Crataegus crusgalli</i> 'Inermis'	Thornless Cockspur Hawthorn	6' ht.
<i>Cornus mas</i>	Cornelian Cherry Dogwood	6' ht.
<i>Cornus alternifolia</i>	Pagoda Dogwood	6' ht.
<i>Magnolia x loebnerii</i> 'Merill'	Dr. Merrill Magnolia	6' ht.
<i>Magnolia stellata</i>	Star Magnolia	6' ht.
<i>Malus floribunda</i>	Japanese Crabapple	6' ht.
<i>Malus 'Donald Wyman'</i>	Donald Wyman Crabapple	6' ht.
<i>Malus 'Red Jewel'</i>	Red Jewel Crabapple	6' ht.
<i>Malus 'Schmidt Cutleaf'</i>	Schmidt Cutleaf Crabapple	6' ht.
<i>Malus sargentii</i>	Sargent Crabapple	6' ht.
<i>Syringa reticulata</i> 'Ivory Silk'	Japanese Tree Lilac	6' ht.
<i>Viburnum prunifolium</i>	Blackhaw Viburnum	6' ht.

C. Evergreen Trees

Botanical Name	Common Name	Size
<i>Abies concolor</i>	White Fir	6' ht.
<i>Picea abies</i>	Norway Spruce	6' ht.
<i>Picea glauca</i> 'Densata'	Black Hills Spruce	6' ht.
<i>Pseudotsuga menziesii</i>	Douglas Fir	6' ht.
<i>Pinus nigra</i>	Austrian Pine	6' ht.
<i>Picea pungens</i>	Green Colorado Spruce	6' ht.
<i>Picea pungens</i> 'Glauca'	Colorado Blue Spruce	6' ht.
<i>Pinus sylvestris</i>	Scotch Pine	6' ht.
<i>Pinus strobus</i>	Eastern White Pine	6' ht.
<i>Tsuga canadensis</i>	Hemlock	6' ht.

D. Deciduous Shrubs

Botanical Name	Common Name	Size
<i>Aronia melanocarpa</i>	Glossy Black Chokeberry	24"
<i>Cornus alba</i> 'Bailhalo'	Ivory Halo Dogwood	18"
<i>Cotoneaster apiculatus</i>	Cranberry Cotoneaster	18"
<i>Cotoneaster x Hessei</i>	Hessei Cotoneaster	18"
<i>Cotoneaster lucidus</i>	Hedge Cotoneaster	24"
<i>Corylus americana</i>	American Hazlenut	24"
<i>Cornus sericea</i> 'Isanti'	Isanti Dogwood	24"
<i>Euonymus alata</i> 'Compactus'	Dwarf Winged Euonymus	24"
<i>Fothergilla gardenii</i>	Dwarf Fothergilla	18"
<i>Forsythia x 'Sunrise'</i>	Sunrise Forsythia	24"
<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Smooth Hydrangea	18"
<i>Hydrangea paniculata</i> 'Tardiva'	Tardiva Hydrangea	24"
<i>Hydrangea paniculata</i> 'Grandiflora'	Pee Gee Hydrangea	24"
<i>Hydrangea paniculata</i> 'Unique'	Unique Hydrangea	24"
<i>Hydrangea quercifolia</i> 'Alice'	Alice Oakleaf Hydrangea	24"
<i>Hamamelis vernalis</i>	Vernal Witch Hazel	24"
<i>Ilex verticillata</i> 'Red Sprite'	Winterberry	18"
<i>Myrica pennsylvanica</i>	Bayberry	24"
<i>Physocarpus</i> 'Summer Wine'	Summer Wine Ninebark	18"
<i>Potentilla fruticosa</i> 'McKay's White'	McKay's White Potentilla	18"
<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Sumac	18"
<i>Ribes alpinum</i> 'Green Mound'	Green Mound Currant	18"
<i>Rosa</i> spp.	Rose Varieties	18"
<i>Spiraea</i> spp.	Spirea Varieties	18"
<i>Syringa meyeri</i> 'Palibin'	Dwarf Korean Lilac	24"
<i>Syringa patula</i> 'Miss Kim'	Miss Kim Lilac	24"
<i>Viburnum carlesii</i>	Koreanspice Viburnum	24"
<i>Viburnum dentatum</i>	Arrowwood Viburnum	24"
<i>Viburnum x judii</i>	Judd Viburnum	24"
<i>Viburnum lantana</i> 'Mohican'	Mohican Viburnum	24"
<i>Weigela florida</i> 'Wine and Roses'	Wine and Roses Weigela	18"

E. Evergreen Shrubs

Botanical Name	Common Name	Size
<i>Buxus</i> 'Green Velvet'	Green Velvet Boxwood	18"
<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	24"
<i>Juniperus chinensis</i> 'Kallays Compacta'	Kallays Compact Juniper	24"
<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper	24"
<i>Juniperus sabina</i> 'Buffalo'	Buffalo Juniper	24"
<i>Pinus mugo mugo</i>	Dwarf Mugo Pine	24"
<i>Thuja occidentalis</i> 'Emerald Green'	Emerald Green Arborvitae	24"
<i>Thuja occidentalis</i> 'Techny'	Techny Arborvitae	36"
<i>Taxus media</i> 'Hicks'	Hicks Yew	18"
<i>Taxus x media</i> 'Runyan'	Runyan Dense Yew	18"

F. Perennials and Ornamental Grasses

Botanical Name	Common Name	Size
<i>Astilbe</i> spp.	Astilbe Varieties	1 gallon
<i>Anemone japonica</i>	Japanese Anemone	1 gallon
<i>Alchemilla mollis</i>	Lady's Mantle	1 gallon
<i>Achillea</i> spp.	Yarrow Varieties	1 gallon
<i>Aster novae-angliae</i>	Purple Dome New England Aster	1 gallon
<i>Artemisia schmidtiana</i> 'Silver Mound'	Silver Mound	1 gallon
<i>Calamagrostis acutifolia</i>	Feather Reed Grass	1 gallon
<i>Cimicifuga ramosa</i> 'Hillside Black Beauty'	Bugbane	1 gallon
<i>Coreopsis</i> spp.	Coreopsis Varieties	1 gallon
<i>Dianthus</i> spp.	Dianthus Varieties	1 gallon
<i>Dicentra</i> spp.	Bleeding Heart Varieties	1 gallon
<i>Echinacea</i> spp.	Coneflower Varieties	1 gallon
<i>Festuca</i> 'Elijah Blue'	Elijah Blue Fescue	1 gallon
<i>Geranium</i> spp.	Bloody Cranesbill Varieties	1 gallon
<i>Hemerocallis</i> spp.	Daylily Varieties	1 gallon
<i>Helictotrichon sempervirens</i>	Blue Oat Grass	1 gallon
<i>Heuchera</i> spp.	Coral Bell Varieties	1 gallon
<i>Hosta</i> spp.	Hosta Varieties	1 gallon
<i>Lavendula angustifolia</i> 'Munstead'	Munstead Lavender	1 gallon
<i>Ligularia</i> 'The Rocket'	Rocket Ligularia	1 gallon
<i>Liatris</i> spp.	Gayfeather Varieties	1 gallon
<i>Miscanthus</i> spp.	Maiden Grass Varieties	1 gallon
<i>Nepeta</i> spp.	Catmint Varieties	1 gallon
<i>Panicum</i> spp.	Switchgrass Varieties	1 gallon
<i>Pennisetum</i> spp.	Fountain Grass Varieties	1 gallon
<i>Perovskia</i> spp.	Russian Sage Varieties	1 gallon
<i>Pulmonaria longifolia</i> 'High Contrast'	High Contrast Lungwort	1 gallon
<i>Rudbeckia fulgida</i> 'Goldstrum'	Black-eyed Susan	1 gallon
<i>Sedum</i> 'Autumn Joy'	Autumn Joy Sedum	1 gallon
<i>Sporobolus heterolepis</i>	Prairie Dropseed	1 gallon
<i>Salvia</i> spp.	Sage Varieties	1 gallon
<i>Veronica</i> spp.	Speedwell Varieties	1 gallon

G. Groundcovers

Botanical Name	Common Name	Size
<i>Euonymus fortunei</i> 'Coloratus'	Purpleleaf Wintercreeper	3" pot
<i>Hedera Helix</i>	English Ivy	3" pot
<i>Lamium maculatum</i>	Spotted dead nettle	3" pot
<i>Pachysandra terminalis</i>	Japanese Flowering Spurge	3" pot
<i>Vinca minor</i> 'Darts Blue'	Dart's Blue Periwinkle	3" pot

H. Vines

Botanical Name	Common Name	Size
<i>Clematis</i> spp.	Clematis Varieties	1 gallon
<i>Campsis radicans</i>	Trumpet Vine	1 gallon
<i>Hydrangea anomala</i> petiolaris	Climbing Hydrangea	1 gallon

I. Annuals and Bulbs

Botanical Name	Common Name	Size
(As desired)	(As desired)	Top size

III. Site Landscaping and Design



The following planning standards have been developed for site landscape design in Residential areas.

PLANNING STANDARDS: RESIDENTIAL

LAND USE DENSITIES

Detached Single-Family: 2.5 du/ac
 Attached Single-Family: 10 du/ac
 Multi-Family: 25 du/ac

STRUCTURAL COVERAGE

Single-family: 30%
 Attached Single/Multi-Family: 40%

FOUNDATION LANDSCAPING

Single-family uses:

Individual owners shall provide adequate foundation landscaping for all single-family residential buildings in keeping with the overall landscape concept for the project. Landscaping shall consist of plant materials listed within the approved plant material palette.

Multi-family uses:

The Developer shall provide adequate foundation landscaping for all multi-family residential buildings in keeping with the overall landscape concept for the project. Landscaping shall consist of plant materials listed within the approved plant material palette.

BEST MANAGEMENT PRACTICES (BMPs)

Natural storm water management will be encouraged through use of bio-swales and minimized catch basin-piping systems. LEEDs will be encouraged as part of the approach to design.

BUILDING SETBACKS

Detached Single-Family -
 Interior Street: 20 ft.
 Side Yard: 7 ft.
 Rear Yard: 15 ft.
 Attached Single-Family -
 Interior Street: 20 ft
 Bld. To Bld. Side to Side: 15 ft
 Bld. To Bld. Side to Rear/Front: 30 ft.
 Bld. To Bld. Rear to Rear/Front: 40 ft.

Multi-Family -
 Interior Street: 20 ft.
 Side Yard: 20 ft.
 Bld. To Bld. Side to Front: 30 ft
 Bld. To Bld. Side to Rear: 30 ft.
 Bld. To Bld. Rear to Front/Rear: 40 ft.
 Bld. To Bld. Side to Side: 15 ft.

PARKING SETBACKS

Multi-Family -
 Interior Street: 15 ft.
 Side Yard: 5 ft
 Rear Yard: 5 ft.



(A) Example of single family foundation planting adjacent to interior roadway



(B) Example of single family foundation planting adjacent to interior road.

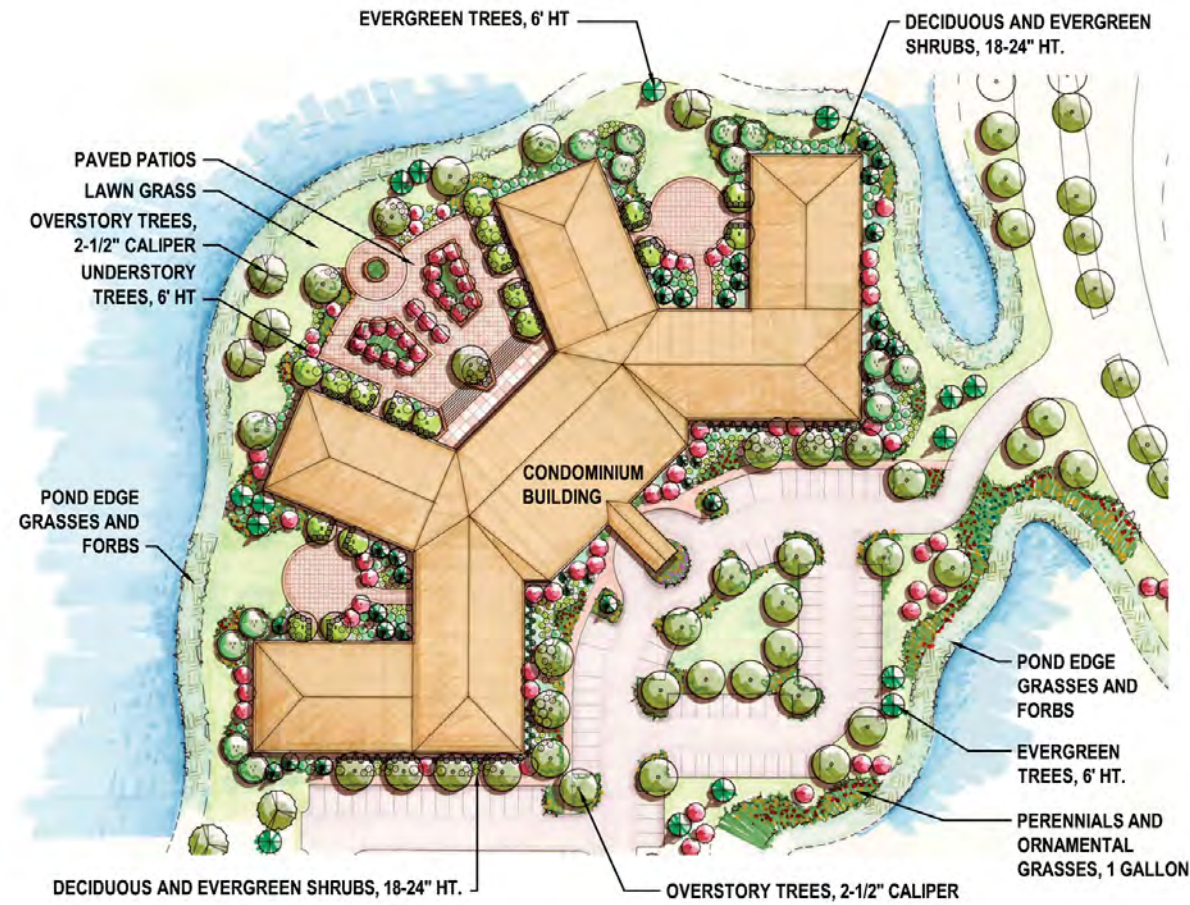


(C) Example of single family foundation planting adjacent to water feature

See next page for map locations.



Conceptual Master Plan page 5



D Example of condominium foundation planting plans



E Example of multi-family foundation planting at street entrance

F Example of auto court foundation planting plans



See previous page for map locations.

III. Site Landscaping and Design

D. Residential



The planting palette below has been designed for site landscaping in Residential area.

PLANTING PALETTE: RESIDENTIAL

A. Overstory Trees

Botanical Name	Common Name	Size
Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	2-1/2" caliper
Acer miyabe 'State Street'	State Street Maple	2-1/2" caliper
Acer saccharum	Legacy Sugar Maple	2-1/2" caliper
Alnus glutinosa	European Black Alder	10' ht.
Betula populifolia 'Whitespire Sr.'	Whitespire Sr. Gray Birch	10' ht.
Celtis occidentalis	Hackberry	2-1/2" caliper
Ginkgo biloba	Ginkgo (Male)	2-1/2" caliper
Gymnocladus dioica	Kentucky Coffee Tree	2-1/2" caliper
Gleditsia triacanthos inermis	Thornless Honeylocust	2-1/2" caliper
Populus tremuloides	Quaking Aspen	2-1/2" caliper
Pyrus calleryana 'Chanticleer'	Chanticleer Pear	2-1/2" caliper
Pyrus calleryana 'Aristocrat'	Aristocrat Pear	2-1/2" caliper
Quercus bicolor	Swamp White Oak	2-1/2" caliper
Quercus ellipsoidalis	Northern Pin Oak	2-1/2" caliper
Quercus rubra	Red Oak	2-1/2" caliper
Quercus robur	English Oak	2-1/2" caliper
Taxodium distichum	Bald Cypress	2-1/2" caliper
Tilia americana	American Linden	2-1/2" caliper
Tilia americana 'Redmond'	Redmond Linden	2-1/2" caliper
Ulmus x 'Morton Glossy'	Triumph Elm	2-1/2" caliper
Ulmus 'Prospector'	Prospector Elm	2-1/2" caliper

B. Understory Trees

Botanical Name	Common Name	Size
Amelanchier canadensis	Shadblow Serviceberry	6' ht.
Amelanchier x grandiflora	Apple Serviceberry	6' ht.
Acer palmatum 'Bloodgood'	Japanese Bloodgood Maple	6' ht.
Carpinus caroliniana	American Hornbeam	6' ht.
Cercis canadensis	Red bud	6' ht.
Crataegus crusgalli 'Inermis'	Thornless Cockspur Hawthorn	6' ht.
Cornus mas	Cornelian Cherry Dogwood	6' ht.
Cornus alternifolia	Pagoda Dogwood	6' ht.
Magnolia x loebnerii 'Merill'	Dr. Merrill Magnolia	6' ht.
Magnolia stellata	Star Magnolia	6' ht.
Malus floribunda	Japanese Crabapple	6' ht.
Malus 'Donald Wyman'	Donald Wyman Crabapple	6' ht.
Malus 'Red Jewel'	Red Jewel Crabapple	6' ht.
Malus 'Schmidt Cutleaf'	Schmidt Cutleaf Crabapple	6' ht.
Malus sargentii	Sargent Crabapple	6' ht.
Syringa reticulata 'Ivory Silk'	Japanese Tree Lilac	6' ht.
Viburnum prunifolium	Blackhaw Viburnum	6' ht.

C. Evergreen Trees

Botanical Name	Common Name	Size
Abies concolor	White Fir	6' ht.
Picea abies	Norway Spruce	6' ht.
Picea glauca 'Densata'	Black Hills Spruce	6' ht.
Pseudotsuga menziesii	Douglas Fir	6' ht.
Pinus nigra	Austrian Pine	6' ht.
Picea pungens	Green Colorado Spruce	6' ht.
Picea pungens 'Glauca'	Colorado Blue Spruce	6' ht.
Pinus sylvestris	Scotch Pine	6' ht.
Pinus strobus	Eastern White Pine	6' ht.
Tsuga canadensis	Hemlock	6' ht.

D. Deciduous Shrubs

Botanical Name	Common Name	Size
Aronia melanocarpa	Glossy Black Chokeberry	24"
Cornus alba 'Bailhali'	Ivory Halo Dogwood	18"
Cotoneaster apiculatus	Cranberry Cotoneaster	18"
Cotoneaster x Hesseii	Hesseii Cotoneaster	18"
Cotoneaster lucidus	Hedge Cotoneaster	24"
Corylus americana	American Hazlenut	24"
Cornus sericea 'Isanti'	Isanti Dogwood	24"
Euonymus alata 'Compactus'	Dwarf Winged Euonymus	24"
Fothergilla gardenii	Dwarf Fothergilla	18"
Forsythia x 'Sunrise'	Sunrise Forsythia	24"
Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea	18"
Hydrangea paniculata 'Tardiva'	Tardiva Hydrangea	24"
Hydrangea paniculata 'Grandiflora'	Pee Gee Hydrangea	24"
Hydrangea paniculata 'Unique'	Unique Hydrangea	24"
Hydrangea quercifolia 'Alice'	Alice Oakleaf Hydrangea	24"
Hamamelis vernalis	Vernal Witch Hazel	24"
Ilex verticillata 'Red Sprite'	Winterberry	18"
Myrica pennsylvanica	Bayberry	24"
Physocarpus 'Summer Wine'	Summer Wine Ninebark	18"
Potentilla fruticosa 'McKay's White'	McKay's White Potentilla	18"
Rhus aromatica 'Gro-Low'	Gro-Low Sumac	18"
Ribes alpinum 'Green Mound'	Green Mound Currant	18"
Rosa spp.	Rose Varieties	18"
Spiraea spp.	Spirea Varieties	18"
Syringa meyeri 'Palibin'	Dwarf Korean Lilac	24"
Syringa patula 'Miss Kim'	Miss Kim Lilac	24"
Viburnum carlesii	Koreanspice Viburnum	24"
Viburnum dentatum	Arrowwood Viburnum	24"
Viburnum x judii	Judd Viburnum	24"
Viburnum lantana 'Mohican'	Mohican Viburnum	24"
Weigela florida 'Wine and Roses'	Wine and Roses Weigela	18"

E. Evergreen Shrubs

Botanical Name	Common Name	Size
Buxus 'Green Velvet'	Green Velvet Boxwood	18"
Juniperus chinensis 'Sea Green'	Sea Green Juniper	24"
Juniperus chinensis 'Kallays Compacta'	Kallays Compact Juniper	24"
Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	24"
Juniperus sabina 'Buffalo'	Buffalo Juniper	24"
Pinus mugo mugo	Dwarf Mugo Pine	24"
Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	24"
Thuja occidentalis 'Techny'	Techny Arborvitae	36"
Taxus media 'Hicks'	Hicks Yew	18"
Taxus x media 'Runyan'	Runyan Dense Yew	18"

F. Perennials and Ornamental Grasses

Botanical Name	Common Name	Size
Astilbe spp.	Astilbe Varieties	1 gallon
Anemone japonica	Japanese Anemone	1 gallon
Alchemilla mollis	Lady's Mantle	1 gallon
Achillea spp.	Yarrow Varieties	1 gallon
Aster novae-angliae	Purple Dome New England Aster	1 gallon
Artemisia schmidtiana 'Silver Mound'	Silver Mound	1 gallon
Calamagrostis acutifolia	Feather Reed Grass	1 gallon
Cimicifuga ramosa 'Hillside Black Beauty'	Bugbane	1 gallon
Coreopsis spp.	Coreopsis Varieties	1 gallon
Dianthus spp.	Dianthus Varieties	1 gallon
Dicentra spp.	Bleeding Heart Varieties	1 gallon
Echinacea spp.	Coneflower Varieties	1 gallon
Festuca 'Elijah Blue'	Elijah Blue Fescue	1 gallon
Geranium spp.	Bloody Cranesbill Varieties	1 gallon
Hemerocallis spp.	Daylily Varieties	1 gallon
Helictotrichon sempervirens	Blue Oat Grass	1 gallon
Heuchera spp.	Coral Bell Varieties	1 gallon
Hosta spp.	Hosta Varieties	1 gallon
Lavandula angustifolia 'Munstead'	Munstead Lavender	1 gallon
Ligularia 'The Rocket'	Rocket Ligularia	1 gallon
Liatris spp.	Gayfeather Varieties	1 gallon
Miscanthus spp.	Maiden Grass Varieties	1 gallon
Nepeta spp.	Catmint Varieties	1 gallon
Panicum spp.	Switchgrass Varieties	1 gallon
Pennisetum spp.	Fountain Grass Varieties	1 gallon
Perovskia spp.	Russian Sage Varieties	1 gallon
Pulmonaria longifolia 'High Contrast'	High Contrast Lungwort	1 gallon
Rudbeckia fulgida 'Goldstrum'	Black-eyed Susan	1 gallon
Sedum 'Autumn Joy'	Autumn Joy Sedum	1 gallon
Sporobolus heterolepis	Prairie Dropseed	1 gallon
Salvia spp.	Sage Varieties	1 gallon
Veronica spp.	Speedwell Varieties	1 gallon

G. Groundcovers

Botanical Name	Common Name	Size
Euonymus fortunei 'Coloratus'	Purpleleaf Wintercreeper	3" pot
Hedera Helix	English Ivy	3" pot
Lamium maculatum	Spotted dead nettle	3" pot
Pachysandra terminalis	Japanese Flowering Spurge	3" pot
Vinca minor 'Darts Blue'	Dart's Blue Periwinkle	3" pot

H. Vines

Botanical Name	Common Name	Size
Clematis spp.	Clematis Varieties	1 gallon
Campsis radicans	Trumpet Vine	1 gallon
Hydrangea anomala petiolaris	Climbing Hydrangea	1 gallon

I. Annuals and Bulbs

Botanical Name	Common Name	Size
(As desired)		Top size

III. Site Landscaping and Design

E. Lighting and Site Furniture



It is the goal of the Developer to use and encourage an environmentally sensitive approach regarding site lighting, furniture and fencing at **Cornerstone**. To that end, the following products are recommended for use within the development.

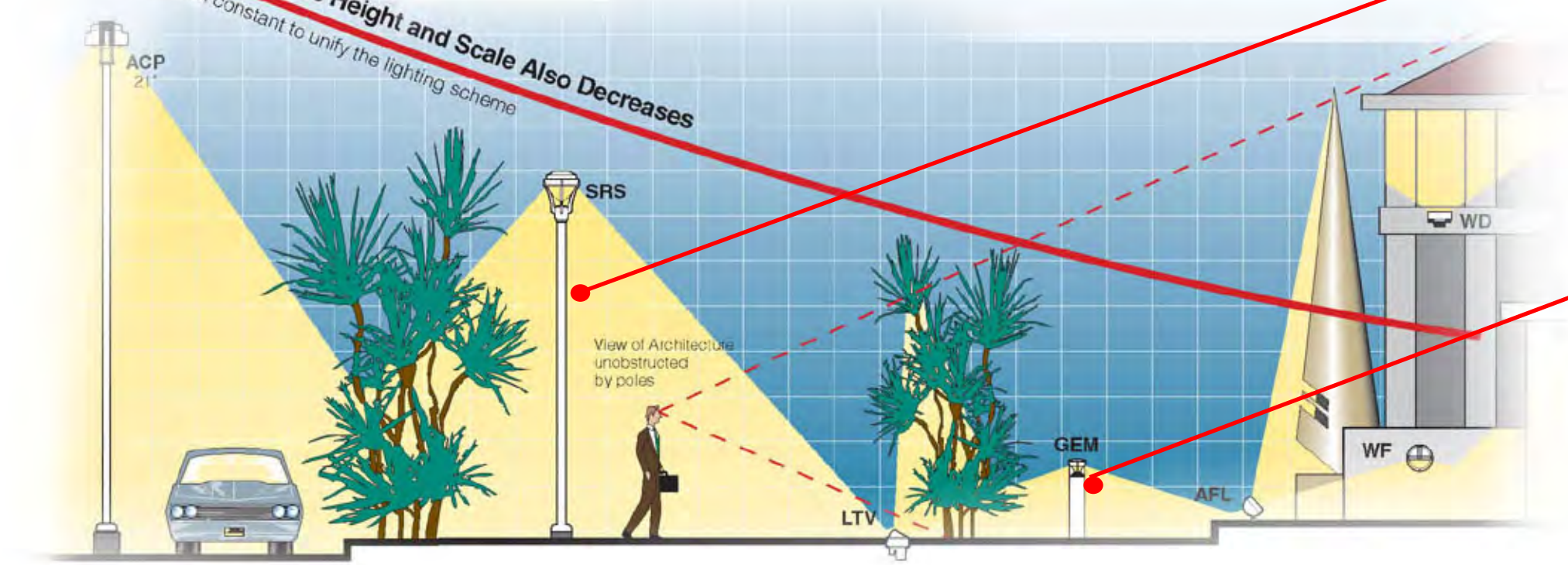
LIGHTING

The typical street light used within historic areas of the Village is an antique acorn style fixture. In an effort to compliment this Village standard, the Developer has selected a modified acorn style fixture for use within **Cornerstone**. The proposed lighting fixture family, or similar design shall be used within the entire development. The lighting fixtures shall be energy efficient, "night sky" compliant and are part of the development's environmentally conscientious approach.



Examples of acceptable lighting fixture styles

Architecture Decreases, Luminaire Height and Scale Also Decreases
Design and style remain constant to unify the lighting scheme



Examples of walkway lighting to enhance pedestrian safety

Taken from "Solitaire" line from Kim Lighting

III. Site Landscaping and Design

E. Lighting and Site Furniture



SITE FURNITURE

Typical site furnishings used within the historic areas of the Village are of an antique/historic style. The Developer has selected site furnishings for **Cornerstone** which will be complimentary to the Village standard. Proposed site furniture as shown or similar, shall be constructed of recycled materials wherever possible in keeping with the development's environmentally conscientious approach.



Example of site furniture along pedestrian trail.



Example of site furniture in retail application.



Taken from "Woodbench Classics" line from Landscape Forms



IV. Architectural Design Standards

A. General Overview



The following architectural standards have been prepared to assist Developers/Architects/Builders in understanding the Master Developer's architectural vision and intent, which has been developed in relation to the Village standards, with respect to all Office/R&D/Industrial, Retail/Commercial and Residential buildings proposed for **Cornerstone**.

In general, all building designs proposed for **Cornerstone** should consider the following:

- The architecture for all structures should be well proportioned, and shall be designed with an emphasis on the street-side of buildings with a continuation of materials, colors and trim on the balance.
- Large building facades should be varied by building walls and/or parapet movement, single-story projections (where feasible) and/or the use of patterns, textures and material differentiation, via the use of color - all harmonious to the overall design.
- Primary entrances should be emphasized.
- Architectural styles will be consistent with commonly recognized styles of high quality, as is found throughout the Village of Grayslake, and the Midwest regional area and in keeping with the Master Developer's vision.



Example of industrial elevation



Example of retail/commercial elevation



Example of Office/R&D elevation



Example of single family elevation



Example of townhome elevation



Example of condominium elevation



Note: The pictures, renderings, drawings and sketches represent the Master Developer's vision. It is intended that these ideas represent a pictorial standard to be used by the architect with the text description to develop new and unique architectural designs. These designs are to be submitted to the Master Developer for approval.

IV. Architectural Design Standards

B. Office /R&D/ Industrial



DESIGN STANDARDS

The following standards are divided into sections 1 - 9 to address the major elements of building design.

1. GENERAL FAÇADE DESIGN

- Architectural features and treatments shall be consistent with the architectural style chosen. *The level of intensity of features and treatments shall be consistent with the architectural style chosen.*
- Building presence, as seen from the street, shall be given priority as an important component of facade design.
- Consistent architectural style will be required on all buildings with emphasis of design on the street side and a continuation of some materials, colors and trim on the balance.
- On large buildings, provide architectural movement of parapets and building façade. Long uninterrupted wall planes should be avoided unless consistent with the architectural style chosen.
- On office structures, the architect should maintain a distinction of design between the first floor and the upper floors.
- Building windows should be placed a consistent height unless the windows are used as an architectural element for design purposes.
- The architectural rhythm of the ground floor should harmonize with the architectural rhythm of the upper floors.
- The scale, proportions, massing, articulation and design features that are used on front entrance facades of office and industrial buildings, shall enhance the pedestrian and vehicular experience, emphasizing the human scale.
- Offsets within the form of buildings, are encouraged as features that minimize the bulky look of a block-shaped building.
- Facades and roofing that can be seen by the public will be constructed with long life, easily maintained materials in office developments.
- Roof Form: Design small office buildings (10,000 sq. ft. one floor) with hipped, gable, gambrel or other appropriate roof components. Flat roofed structures are encouraged only if appropriate for the architectural style, or on large industrial or office structures.
- Mansard roofs can be part of the architectural design as long as the materials, construction and the design enhance the overall building structure.
- Monotony should be avoided in facade design. The roofline at the top of a structure should incorporate offsets, jogs and/or architectural features and components for enhanced interest.
- Standing seam roofs as the primary roofs are not encouraged unless as depicted in a specific architectural style.
- Primary entrances should be located at the front of the building, unless off street parking dictates otherwise, and should be recessed or have prominent architectural features.
- Principle entry doors should be emphasized using canopies, pediments or other appropriate design features.
- In a multi-tenant building, one principle entrance for each tenant is encouraged. If the location of parking creates a need, multiple entries may be included.
- In multi-tenant structures, architectural design should include variations of architectural components and details to break up a monotonous structure.
- Buildings should be designed with foundations below grade. If any foundation appears more than 8" above grade it should be finished concrete.
- All pre-cast panels should be pre-finished or poured in place concrete, should have patterns and be stained.



Examples of acceptable Office/R&D/Industrial building facade designs, acceptable use of architectural movement, fenestration, franchise definition and precast panel design in large buildings, appropriate use of mansard roofs, appropriate pedestrian entrances, access and canopy use.

Note: The pictures, renderings, drawings and sketches represent the Master developer's vision. It is intended that these ideas represent a pictorial standard to be used by the architect with the text description to develop new and unique architectural designs. These designs are to be submitted to the Master Developer for approval.

IV. Architectural Design Standards

B. Office /R&D/ Industrial



2. EXTERIOR BUILDING MATERIALS

- Materials such as face brick, terra cotta, limestone, brownstone, lannon stone, marble, granite, ashlar masonry, pre-cast or poured concrete or similar materials are the recommended finishes.
- The use of concrete as a front primary facade material will only be allowed if design includes significant architectural features of color and texture.
- The choice of building materials should be in character with and compatible with abutting buildings.
- Facade design materials should be amongst the best quality for primary facades. Secondary facades (sides or rear) should compliment the primary façade with similar design treatments but be less intensive and adhere to standard details of the architectural style.
- Exterior building materials shall be consistent or compatible on all exterior facades and/or floor levels of a building.
- Exposed framing of attached structures, unless integral to the design or designed as an exposed element (i.e., heavy timber or finished metal), shall not be allowed.
- Materials used in attached structures shall be appropriate with and complimentary to the principal structure.
- Suggested building accent materials could be copper, aluminum, wood, terne metal, accent stone, cultured stone, cut stone, accent stucco, accent EFIS, formed concrete and terracotta. All other materials shall be submitted to the Master Developer for approval.
- The use of EIFS as a primary facade material will not be allowed unless approved by the Master Developer.
- In office building design that uses wood siding and trim, the wood material should be capable of with standing the Midwest climate, i.e., a good grade of cedar or redwood, with the appropriate finish.
- Rooftop mechanical equipment, if used, shall be located to not be visible from the public way or shall be adequately screened with materials that are complimentary and consistent with the building architecture and roof design/finish.
- Building facades that are clad with a singular exterior surface material should provide additional design element(s) to provide architectural relief to the wall with details that are consistent with the primary facade design.
- Veneer faced plywood sidings are prohibited, unless samples are submitted to the Village and the Master Developer for approval.
- Pre-cast concrete panels that are not stained or un-textured are prohibited, unless samples are submitted to the Village and the Master Developer for approval.
- Common brick, or concrete block should not be used without submitting the materials and the design pattern to the Master Developer for specific approval.
- Corrugated metal with exposed fasteners are prohibited unless materials and designs are submitted to the Master Developer for specific approval.
- As new materials become available and/or are developed in the market place, these materials shall be allowed upon approval of the Master Developer for its specific use.

Examples of acceptable exterior building materials used on Office /R&D/ Industrial buildings.



Note: The pictures, renderings, drawings and sketches represent the Master developer's vision. It is intended that these ideas represent a pictorial standard to be used by the architect with the text description to develop new and unique architectural designs. These designs are to be submitted to the Master Developer for approval.

IV. Architectural Design Standards

B. Office /R&D/ Industrial



3. EXTERIOR MATERIAL COLORS

- All building facades should reflect a color palette of well established Midwest traditions.
- The selection of building colors has significant aesthetic and visual impact on building character and appearance. A color palette for each building shall be submitted to the Master Developer for approval.
- Color harmony within a development and between adjacent buildings (within 50 feet) should be considered as part of the architectural design.
- The color palette should be limited to three colors on any given building. Harsh discordant colors should not be used, unless approved by the Master Developer.
- Attached structures and details shall use the building color selection or a complimentary color.
- Detached structures should match the chosen color palette of the main building.
- Colors used for the building accents should be appropriate with the architectural style. Bright colors, used for accents or for commercial logos, shall be used sparingly, and will be subject to Master Developers review and approval.
- Window frames and mullion colors should blend, compliment or match building colors.
- Window glass should be of a harmonious color.
- Color elements used for screening of areas should be muted and blend with or compliment the building color.
- Color of trim, attached structures, details, should be appropriate with that of neighboring building's (within 50 feet) main façade.
- Secondary façade colors should blend with or compliment the primary façade colors.
- Façade colors should be compatible and consistent on all sides and levels of the structure.

4. BUILDING FEATURES AND DETAILS

- As the architectural design dictates, elements should be incorporated in primary building facades: window, base, surrounds, pilasters, columns, friezes, cornices, and wall breaks.
- Accurate representation of defined architectural details and styles should be incorporated in the primary architectural design.
- Generally accepted building features and details, when combined with exterior materials and appropriate architectural styles will be the basis of an architecturally harmonious environment.
- Building elements such as awnings, signs, doors windows and lighting should compliment the building façade and finishes.
- The Architect should consider the use of base and wall entablatures on architectural facades.
- Building base and wall entablatures should be consistent with the selected architectural style. Top of wall features should be included as an element of design.
- To reduce the visual impact of large expansive walls, the raising or lowering of the parapets and/or building offsets are recommended - when appropriate to the architecture and use of the building.
- When designing a masonry building, the use of soldier coursing, rowlocks, plants, copings, arches or unique head, sill and coping designs are encouraged.
- Building detail materials, color, and texture shall be appropriate with the base materials and the architectural style of the building.
- Building features and details should be consistent within the front exterior façade of the building. The level of detail may be less intense or simulated on the sides, rear and upper levels of the building.



Examples of acceptable exterior material colors, building features and details.



Note: The pictures, renderings, drawings and sketches represent the Master developer's vision. It is intended that these ideas represent a pictorial standard to be used by the architect with the text description to develop new and unique architectural designs. These designs are to be submitted to the Master Developer for approval.

IV. Architectural Design Standards

B. Office /R&D/ Industrial



5. ATTACHED STRUCTURES AND APPENDICES

- When consistent with the architectural design, pilasters, awnings, columns, cornices, canopies and other architectural features should be part of the design elements included in building façades or as a accent feature on the street-side façade. Use of these design elements should respect the façade framework.
- The size and placement of awnings and canopies should compliment the architectural character of the building. Street-side awnings and canopies should be designed to add depth to the building and to accent window and door treatments.
- When awnings and canopies are used on a multiple-tenant commercial/office building development, these elements should be appropriate in character, scale, color, location and architectural style. The intensity of use shall be consistent with the style chosen.
- Awnings and canopies are available as a secondary sign location. The Pattern Book's sign guidelines will dictate appropriate use and sign standards.
- Awning and canopy shapes shall relate to the facade's other architectural elements.
- Appropriate canopy, appentice or structure materials include those that are compatible and appropriate with building architectural style. (See Section 2, Exterior Building Materials)
- Attached structures should compliment the adjacent structure.
- When proposing awnings, a palette of colors, materials and proposed signage should be submitted to the Master Developer for specific approval.
- The use of second floor balconies, porches and/or decks that overhang sidewalks will require either the Master Developer's approval or, in the event they overhang public areas, Village of Grayslake approval.



Examples of acceptable attached structures and appendices.

Note: The pictures, renderings, drawings and sketches represent the Master developer's vision. It is intended that these ideas represent a pictorial standard to be used by the architect with the text description to develop new and unique architectural designs. These designs are to be submitted to the Master Developer for approval.

IV. Architectural Design Standards

B. Office /R&D/ Industrial



6. FENESTRATION, GLAZING AND WINDOWS

- The level of intensity of windows frames and frame detailing shall be consistent with the architectural style.
- Fenestration or other design elements shall be required on all facades that face roads or public ways including Industrial zones.
- When not considering energy, storage manufacturing or security concerns, glass and windows should create the feeling of transparency at street level offices.
- Appropriate window characteristics and styles should be incorporated into the architectural design.
- The use of windows, mullions and frames should be consistent with the architectural style selected.
- Windows shall be proportionate to the facade scale and in keeping with architectural style of proposed buildings. All glass facades shall not be allowed unless approved by the Master Developer.
- The use of small-sized windows should be used only when characteristic of the basic architectural design.
- Plexi-glass or other glass substitute materials shall not be allowed as fenestration unless the product is necessary as part of a security measure, or a newly developed product and approved by the Village and Master Developer.
- Non-transparent material, such as a glass block, is not appropriate as fenestration, but may be used as an architectural element if appropriate to the proposed style. It should not be a dominant feature unless approved by the Master Developer.
- Window and door frames shall be vinyl-cased, wood, steel, aluminum or vinyl frame.
- The use of vinyl frame must be approved by the Master Developer for its specific use.
- The use of clear-story and transom windows are recommended..
- The use of energy efficient glass is recommended.
- Glass color will be in harmony with the colors used on the building.
- Industrial and research & manufacturing buildings should incorporate a minimum of 30% glass on front facades of office areas. Deviation from this standard must be approved by the Master Developer.
- Walls that do not have windows will be required to use berming and/or landscaping of various types or sizes to break up the impact of a blank wall. The use of building copings, wall ribbons and base designs may be also be required to minimize the visual impact of large blank walls.
- Single-story and multi-story office buildings should incorporate the minimum use of glass as follows: 30% of the façade wall areas. Deviation from this standard must be approved by the Master Developer.



Examples of acceptable fenestration, glazing and windows.

Note: The pictures, renderings, drawings and sketches represent the Master developer's vision. It is intended that these ideas represent a pictorial standard to be used by the architect with the text description to develop new and unique architectural designs. These designs are to be submitted to the Master Developer for approval.

IV. Architectural Design Standards

B. Office /R&D/ Industrial



7. SIGN COMPATABILITY

See Section V: Signage

8. BUILDING LIGHTING

- Site lighting, display window lights, architectural lighting, and general area lighting are encouraged to advertise the business, highlight building features and entries, and to illuminate dark corners of the property or street.
- Exterior building lights shall coordinate with architectural details of the building.
The architect should provide adequate site and building lighting in accordance with Village, State and federal building and electrical codes.
- Light fixtures should be placed to avoid light glare on vehicular traffic areas or pedestrian walkways. The use of sconce lighting will be allowed if the fixtures are in keeping with the architectural style of the building.
- Indirect lighting should be provided whenever possible, for display and architectural lighting.
- The use of walkway lighting (bollard or decorative pole type) is encouraged if the light source is obscured and the fixture is in keeping with the proposed architectural style.
- The use of neon or pulsating lighting will not be allowed for use within Office/R&D/Industrial sites unless approved by the Village and Master Developer.
- Specific landscape materials should be highlighted via landscape lighting, where possible.
- All landscape lighting shall be concealed and secure from the public.

9. BUILDING SYSTEMS

- A building's mechanical, electrical and plumbing systems should be concealed from view from ground level vistas.
- Rooftop equipment shall be hidden by a screening device or roof structures so as not to be visible from the public way.
- Batten seam, standing seam and corrugated metal roof systems shall be allowed as screens only if they are not dominant architectural features and are complimentary to building architectural style and detail.
- Rooftop screens shall be coordinated and compatible with building architecture and color. Screening can be fencing, architectural features and/or appropriate landscaping.
- Ground equipment screens shall be coordinated and compatible with building architecture and color.
- Evergreen landscape screening or a combination of earth berming and evergreens shall be an acceptable method of ground equipment screening provided plantings are selected for appropriate climate and installation environment (i.e. salt tolerant) and do not create security concerns.
- Enclosure of process equipment, cooling towers, chillers, accessory structures, if viewed from the public way, will be enclosed and screened in a structure, or walls constructed of materials similar to and compatible with those materials used on the appropriate building elevation.
- Accessory structure screening (i.e., water towers, tanks, process equipment, cooling towers, chillers, vent hoods, communication equipment, alternative power equipment, etc.) shall be compatible with building façade architectural style.



Examples of acceptable building lighting.



Examples of acceptable screening for mechanical equipment..

Note: The pictures, renderings, drawings and sketches represent the Master developer's vision. It is intended that these ideas represent a pictorial standard to be used by the architect with the text description to develop new and unique architectural designs. These designs are to be submitted to the Master Developer for approval.

IV. Architectural Design Standards

C. Retail/Commercial



DESIGN STANDARDS

The following standards have been developed to accommodate large-scale group buildings and free-standing outlot buildings. These standards are divided into sections 1 - 10 to address the major elements of Retail/Commercial building design. The following definitions are provided for words referenced throughout the Retail/ Commercial Section:

Building: A single structure, or continuous block containing multiple tenants or building units.

Main Facade: Shall be the building side facing the main pedestrian walkway. For the purposes of these guidelines each building shall only have one main facade.

Large Format Retailer: Any of the exterior building shell to be designed and constructed by tenant and not the Master Developer.

Adjacent Buildings: Building located within 200' radius.

1. GENERAL FAÇADE DESIGN

- Consistent architectural style will be required on all buildings. Architectural feature, treatment, and their level of intensity, shall be consistent with the architectural style chosen. The emphasis of design will be on the street and primary entry sides and the continuation of some materials, colors and trim on the balance.
- Franchise identifying features should be limited to façade details and sign logos.
- On multi-tenant retail buildings, outlot buildings or large format retail buildings; design should incorporate architectural movement of the parapet walls and articulation of the building façade. Long uninterrupted walls and roof planes over 100 linear feet long, should be avoided, unless consistent with the architectural style chosen. The use of building offsets within the building plan is encouraged.
- Consideration should be given to the architecture of surrounding buildings and complimentary building elements, trim or architectural style should be incorporated.
- Building windows should be placed a consistent height unless the windows are used as an architectural element for design purposes, and match the chosen architectural style. Tenant storefront design zone heights in multi-tenant buildings are to be set by the Landlord and are encouraged to be uniform in height above the finished floor within any one building. Larger format retailer's store heights will vary as appropriate.
- The scale, massing, articulation and proportions of front facades should enhance the vehicular and pedestrian experience, emphasizing the human scale. Facade design elements that contain cornices, trim, and bulkheads are encouraged.
- Mansard roofs can be part of the architectural design as long as the materials, construction and the design enhance the overall building structure. Sightline studies shall be complete to ensure the rear of the mansard roof cannot be seen from within the site boundaries.
- Monotony of design should be avoided. Rooflines should incorporate changes and variations to create and enhance interest. Rooflines should be articulated in a level of detail appropriate to the style chosen.
- The appearance of flat roofs should be avoided. Flat roofs shall be allowed provided the building design includes changes in facade height along the building length. The use of hipped, gable, gambrel or other roof forms are encouraged.



Examples of acceptable Retail/Commercial building facade design, acceptable use of architectural movement, fenestration, franchise definition and precast panel design in large buildings, appropriate use of mansard roofs, appropriate pedestrian entrances, access and canopy use.

Note: The pictures, renderings, drawings and sketches represent the Master developer's vision. It is intended that these ideas represent a pictorial standard to be used by the architect with the text description to develop new and unique architectural designs. These designs are to be submitted to the Master Developer for approval.



1. GENERAL FAÇADE DESIGN (con't)

- Primary entrances shall be located at the main pedestrian front of the building, unless off-street parking dictates otherwise. Building presence, from the main pedestrian street, shall be given priority as an important component of facade design.
- Principle entry doors should be emphasized using canopies, pediments or other appropriate design features.
- In multi-tenant buildings, architectural design should include variations of architectural components and details to break up a monotonous structure, which may define individual building bays or tenants.
- Buildings should be designed with foundations below grade. If any foundation appears more than 8" above grade it should be finished concrete.
- Within retail/commercial developments, the ground floor of the main pedestrian facade shall be 80% transparent in character, while the balance can remain opaque providing its architectural features and treatments are consistent with the level of intensity required for the chosen architectural style. Large format retailers are only to meet a 30% transparent facade on their main pedestrian facades. The upper story main facade shall have a more solid quality to the facade fenestration.
- Building facade heights shall vary between retail tenants over 30,000 sf. housed together within one building.
- To avoid design repetition, matching building facade designs may not be repeated within four lots of each other, or 500 linear feet.
- The Master Developer will develop and distribute a Tenant Criteria Manual (TCM) for use by the individual tenants within multi-tenant buildings, outlot tenants and large format retailers. The TCM will reference the Pattern Book as the project design guidelines, but may also further restrict the tenant storefront design area. Each tenant will be required to submit to the Master Developer architectural drawings for review of compliance with the Pattern Book and the TCM prior to submitting for building permit through the Village.

Examples of acceptable Retail/Commercial building facade design, acceptable use of architectural movement, fenestration, franchise definition and precast panel design in large buildings, appropriate use of mansard roofs, appropriate pedestrian entrances, access and canopy use.

Note: The pictures, renderings, drawings and sketches represent the Master developer's vision. It is intended that these ideas represent a pictorial standard to be used by the architect with the text description to develop new and unique architectural designs. These designs are to be submitted to the Master Developer for approval.

IV. Architectural Design Standards

C. Retail/Commercial



2. EXTERIOR BUILDING MATERIALS

- Building materials, including those of attached structures, should be used and installed in keeping with the chosen architectural style. Materials should be of a scale appropriate to the pedestrian and compliment adjacent structures. If building facade is away from pedestrian walkways, larger scale building materials may be approved by the Master Developer. See "Exterior Material Legend" below for listing of approved/ not approved materials.
- Aluminum trim and drainage elements are recommended.
- Buildings should be designed with foundations below grade. Any foundation which appears more than 8" above grade should be finished concrete.
- All pre-cast panels should be pre-finished or stained and additional design elements poured as part of the facade. The repetition of design elements with lesser intensity on the balance of the facades is acceptable.
- As new materials become available and/or are developed in the market place, these materials shall be allowed provided they are appropriate to the architectural style chosen and approved by the Master Developer and the Village for its specific use.
- Building material, including facade and roofing finishes, should be high quality and commercial grade, appropriate for the climate, have a long life span and may be easy to maintain.
- The main facade should be comprised of the highest quality materials within the building. Secondary facades (side or rear), should compliment the main facade in their design and material usage. Highly visible secondary facades should incorporate the main facade materials and their usage. Each facade must incorporate a minimum of two materials, covering at least 30% of the facade square footage, that were also used on the main facade to maintain an overall building cohesiveness and compatibility.
- Rooftop mechanical equipment, if it must be used, shall be screened if visible above the parapet, with materials complimentary and consistent with building finishes, and designed not to draw attention to them.
- Buildings clad with a singular exterior surface material shall provide additional architectural design elements/treatments, consistent with the chosen architectural style, to break up the plane of the wall. All building facades are encouraged to use a minimum of two cladding materials.



Exterior Material Legend

Approved Exterior Materials	Not Approved Exterior Materials
Face Brick, Brick Veneer	Standing seam or batten seam metal roofing (unless dictated by the specific architectural style)
Natural stone (Limestone, brownstone, Jannon stone, marble, granite)	Vinyl or aluminum siding
Concrete, including pre-cast panels (May be used when incorporating color, texture and architectural finish features.)	Smooth concrete block
Exterior grade wood (must be appropriate species for climate)	Painted smooth concrete masonry units (unless used in locations behind screen walls.)
Terra Cotta	Corrugated tin roofing
Manufactured stone	Exposed steel framing (Unless integral to the design)
Decorative Concrete Masonry Units (CMU)	Heavy timber framing (Unless integral to the design)
Stucco (including decorative stucco panels)	Plywood panels
E.I.F.S. (may be used when incorporating color, texture and architectural finish features, including decorative EIFS panels)	T-111
Commercial grade wood siding	Veneer based plywood siding.
Composite siding	Plexi-glass
Brick pavers	Corrugated Metal with exposed fasteners
Stone pavers	
Commercial grade asphalt shingles	
Slate roofing	
Concrete tile roofing.	
Metal accents (copper, aluminum, tern metal)	
Glass Block (may be used only as a feature element, not for glazing or windows.)	

Note: As new materials become available and/ or are developed in the market place, these materials shall be allowed provided they are appropriate to the architectural style chosen and approved by the Master Developer and the Village for its specific use.

Examples of acceptable Retail/Commercial exterior building materials and colors.

Note: The pictures, renderings, drawings and sketches represent the Master developer's vision. It is intended that these ideas represent a pictorial standard to be used by the architect with the text description to develop new and unique architectural designs. These designs are to be submitted to the Master Developer for approval.



3. EXTERIOR MATERIAL COLORS

- The building color palette should consider the surrounding buildings and strive to be harmonious with buildings both within the development and between adjacent off-site buildings (adjacent buildings are those within a 200' radius).
- The color palette should be limited to three colors on any given building, including attached structures and architectural features, and one accent color occurring on no more than 10% of the facade area. Signs and other signature details can introduce additional colors.
- Detached structures should match the chosen color palette of the main building.
- Bright colors used for accents should be used sparingly and work with the chosen architectural style.
- Window frames and mullion colors should blend, compliment or match building colors.
- Bright roof colors will not be allowed, unless used as an accent and approved by the Master Developer.
- Color elements used for screening of areas should be muted and blend with or compliment the building color.
- Secondary facade colors should blend with or compliment the primary facade colors.
- Facade colors should be compatible and consistent on all sides and levels of the structure.
- A colored elevation or colored perspective rendering must be submitted to the Master Developer for approval prior to submittal to the Village for Building Permit.
- A color palette for each building shall be submitted to the Master Developer for approval and should be consistent with the architectural style chosen. Building colors should reflect a well-established color combination and natural/earth tones are highly suggested.



Examples of acceptable Retail/Commercial exterior building materials and colors.

Note: The pictures, renderings, drawings and sketches represent the Master developer's vision. It is intended that these ideas represent a pictorial standard to be used by the architect with the text description to develop new and unique architectural designs. These designs are to be submitted to the Master Developer for approval.

IV. Architectural Design Standards

C. Retail/Commercial



4. BUILDING FEATURES AND DETAILS

- Generally accepted building features and details, when combined with exterior materials, colors and textures appropriate to the architectural styles chosen, will be the basis of an architecturally harmonious environment.
- Design features should be appropriate for the architectural style chosen. Each building shall incorporate several common architectural features. Possible examples include, pilasters, piers, columns, friezes, cornices, and window surrounds. Features should be represented in a way accurate to the chosen architectural style.
- Building elements such as awnings, signs, doors windows and lighting should compliment the building façade and finishes.
- Top of wall features should be included as an element of design.
- When designing a masonry building, the use of soldiers, rowlocks, plants, copings, arches or unique head, sill and coping designs are encouraged.
- The “frieze” or “sign band” is the horizontal segment of the building located above the storefront or display window and below the second floor windows or facade trim or building cornice. Friezes shall be consistent height above the finished floor within a multi-tenant building, except those holding more than one large format retailer. Friezes shall be designed to fit the chosen architectural style.



Examples of acceptable building features and details.

5. ATTACHED STRUCTURES AND APPENTICES

- Using of awnings, canopies or other design features are required to enhance main facades, in particular at building entries, as dictated by the architectural style chosen. These elements are also highly encouraged along side or rear facades to add depth and detail to the building facade. The level of design intensity and detailing of the awnings or canopies shall compliment the architectural style and shall provide weather protection, particularly at the building entrance. Awning and canopy designs can vary per tenant within a multi-tenant building.
- The size, shape and placement of awnings and canopies should compliment the architectural character and feature elements of the building.
- The use of second floor balconies, porches and/or decks that overhang sidewalks will require either the Master Developer's approval or, in the event they overhang public areas, Village of Grayslake approval.
- Appropriate canopy, apprentice or structure materials include those that are compatible and consistent with the buildings architectural style and those materials listed in the Exterior Building Materials section.
- Attached structures shall be compatible with and compliment adjacent structures within a 200' radius.



Examples of acceptable attached structures and awnings.



6. FENESTRATION, GLAZING AND WINDOWS

- The level and intensity of windows should be consistent with the architectural style, design and use of the building. Windows, glazing and framing shall be well proportioned and in keeping with chosen architectural style.
- The use of small-sized windows should be used only when characteristic of the basic architectural design.
- Non-transparent materials, such as glass block, are not appropriate for fenestration, but may be used as an architectural element if appropriate to the proposed architectural style. It shall not be a dominant feature i.e. no more than 5% of the facade can incorporate such materials.
- Window and door frames shall be vinyl-cased, wood, steel, aluminum or vinyl frame. The use of vinyl frame must be approved by the Master Developer for its specific use.
- The use of clear-story and transom windows are recommended.
- The use of energy efficient glass is recommended.
- Clear glass for storefronts, windows and doors, within the retail merchandising areas is required. Slightly tinted glass for energy efficiency purposes may be used at the Master Developer's discretion. Colors shall be limited to greys, blues, bronze, non-reflective and non-mirrored and must be compatible with the chosen architectural style, materials and color palette.
- Where the building footprint has a zero lot line or is 10 ft. or less from the sidewalk or roadway, the use of banding, parapet height changes, wall bases, appendages, awnings or recesses etc. are required to minimize the visual impact of large blank walls. Walls without windows located more than 10 ft. from a roadway or sidewalk will be required to use berming and/or landscaping of various types and/or sizes to break up large wall masses in addition to the above mentioned architectural elements.
- The use of window mullions to section large display windows are encouraged and shall be consistent with the architectural style chosen.
- The Master Developer and the Village may approve other glazing materials or window types providing they are appropriate to the chosen architectural style.



Examples of acceptable fenestration, glazing and windows.

IV. Architectural Design Standards

C. Retail/Commercial



7. SIGN COMPATABILITY

See Section V: Signage

8. BUILDING LIGHTING

- The architect should provide adequate site and building lighting in accordance with the Village, State and federal building and electrical codes.
- Site lighting, storefront and display window lighting, and general area lighting are encouraged to advertise the business, highlight building features and entries, and to illuminate dark corners of the property or street.
- Light fixtures should be selected to be in keeping with the architectural style and detailing of the building.
- Light fixtures should be placed to avoid light glare on vehicular traffic areas or, pedestrian walkways. The use of sconce lighting will be allowed if the fixtures are in keeping with the architectural style of the building and located at proper mounting heights. The use of indirect lighting is encouraged.
- The use of neon lighting will be allowed in the Retail/Commercial area only with the approval of the Master Developer for its specific use.
- Specific landscape materials should be highlighted via landscape lighting, where possible.
- All landscape lighting shall be concealed and secure from the public.
- Exterior building lights shall be compatible with lights of adjacent structures.
- Walkway lighting (bollard or decorative pole type), is encouraged if the light source is obscured and the fixture is in keeping with the proposed architectural style.



Examples of acceptable lighting.

Note: The pictures, renderings, drawings and sketches represent the Master developer's vision. It is intended that these ideas represent a pictorial standard to be used by the architect with the text description to develop new and unique architectural designs. These designs are to be submitted to the Master Developer for approval.

IV. Architectural Design Standards

C. Retail/Commercial



9. BUILDING SYSTEMS

- Building mechanical systems should be concealed from public street views.
- Rooftop mechanical equipment that is visible from public streets should be screened with architecturally compatible equipment screening.
- Standing seam, batten seam, corrugated and unique, architecturally designed screens are recommended. Box screening will not be allowed without approval from the Master Developer for its specific use.
- Screening colors should be compatible with the building color.
- Ground equipment screening can be fencing, architectural features and/or appropriate and adequate landscaping. Evergreen landscape is encouraged provided it is selected for the appropriate climate, installation environment (e.g. salt tolerant etc.) and does not create security concerns.
- Accessory screening should be compatible with the architectural style of the building.

10. ADDITIONAL DESIGN STANDARDS - SPECIFIC USES

RESTAURANTS:

- When designing restaurants, the Architect is encouraged to incorporate outdoor dining whenever possible. The following should be considered when designing outdoor dining:
 - Outdoor dining should be located adjacent to scenic views or street vistas and should link with pedestrian activity.
 - Dining areas should be on privately owned or leased property.
 - Outdoor seating for eating and drinking shall be limited to 35% of the establishment's allowed seating.
 - Outdoor dining areas shall not require or be dependent upon any new structures not permitted by the Village of Grayslake.
 - All outdoor dining areas must be in compliance with Village ordinances and approved by the Master Developer.
 - If located within a dedicated right-of-way or walkway system, prior approval of the Village of Grayslake and the Master Developer will be required.
 - Outdoor dining seating areas must be properly lit (2 fc) with lighting in keeping with the balance of the building/ tenants lighting and consistent with the chosen architectural style.
 - Outdoor dining seating areas may incorporate music or sound systems providing the decibel level does not exceed 65 dB.
 - Outdoor dining furniture and amenities must be commercial quality and is subject to Master Developer review and approval.



Examples of acceptable screening for mechanical equipment.



Examples of acceptable outdoor dining design.

Note: The pictures, renderings, drawings and sketches represent the Master developer's vision. It is intended that these ideas represent a pictorial standard to be used by the architect with the text description to develop new and unique architectural designs. These designs are to be submitted to the Master Developer for approval.

IV. Architectural Design Standards

C. Retail/Commercial



MIXED-USE STRUCTURES:

- All mixed-use buildings containing retail within the development are required to follow the Section IV: Architectural Design Standards, Part C- Retail/ Commercial Standards as outlined in the Pattern Book.
- In multi-story, mixed-use (Retail/Commercial, Residential, Office) structures, the Architect should maintain design distinction between the first floor and the upper floors.
- Multi-story, mixed-use buildings should incorporate the minimum use of glass as follows:
First Floor - Retail/Commercial: 50% of the street-side façade;
First Floor - Office: 30% of the street-side façade;
Upper Floors - Office/ Residential: 30%.
- Any deviation from the above standards must be approved by the Master Developer for its specific use.

FUEL STATIONS:

- Fuel Service Stations and Car Washes should be architecturally designed per the following:
 - i. Allow for direct vehicular access from adjacent streets.
 - ii. Fuel pump station buildings, appendages and fuel pump canopies are subject to the same Pattern Book architectural guidelines as the retail buildings. They shall be detailed to include architectural details, design elements, materials and colors in keeping with each other and adjacent structures within a 200' radius.
 - iii. Compliment architectural design elements of surrounding structures.
 - iv. Any deviation from the above standards must be approved by the Master Developer for its specific use.



Examples of acceptable mixed-use building design.



Examples of acceptable fuel station design.



IV. Architectural Design Standards

D. Residential



DESIGN STANDARDS

The design standards of this section are intended to encourage new construction in **Cornerstone** to reflect and reinforce the quality of design and craftsmanship that can be seen in many of Grayslake's historic residential neighborhoods. Traditional architectural styles found in the community include, but are not limited to, Craftsman, Prairie/Four Square, Farmhouse, Victorian, Georgian, Classical, and other styles that recognize a traditional Midwestern vernacular. By respecting the town's architectural heritage, new residential development can enhance Grayslake's sense of place.

These guidelines will serve as a resource to assist the Village and the Developer/ Builder in planning and executing successful architectural design for the residential neighborhoods in **Cornerstone**. Taken together, the architectural variety will lead to creating individual and unique neighborhoods that convey attractive designs derived from a combination of architectural elements which include: diversity in materials, articulation of facades, rich colors, and an orientation to the pedestrian and street, all of which reflect the goals and visions of Grayslake.

While dwellings in **Cornerstone** are not restricted to a particular style, it is encouraged that a traditional character be established which is consistent with traditional Midwest vernacular.

DESIGN STANDARDS: TOWNHOMES, ROW HOMES AND AUTO COURTS

It is envisioned that all attached single-family buildings will be designed as a "whole" rather than an assemblage of individual units. There shall be no more than (7) units in an assembly of vertically separated attached single-family units.

ELEVATIONS

Attached single-family communities should either mix styles within an individual neighborhood or create an entire neighborhood around a specific architectural character (or theme). There shall be no minimum percentage of masonry applied to attached single-family buildings; rather a measure of what is appropriate to a particular style shall govern. Two car garages are a minimum requirement and special attention to de-emphasize the garage is mandatory.

Minimum Requirements:

1. Minimum of (3) color packages.
2. Interpretations of traditional character
3. Blended use of a variety of traditional architectural themes.

SCALE AND MASSING

Design consideration must be given to the relationship of architectural massing and the scale of building elements in the attached single-family neighborhoods. Exterior elevation design must consider the scale, balance and character of the entire assembled elevation. The incorporation of animated roof lines, well defined unit entries, usable covered porches, bay windows and other residentially scaled elements are critical to reduce the frontal mass and impact of the building.

Design Considerations:

1. Overall building mass scaled down through varying roof heights and styles.
2. Appropriate sense of scale and balance.
3. Architectural elements such as dormer, bay window projections and dominant entry elements.
4. Asymmetrical building elevation design is encourage

Note: The pictures, renderings, drawings and sketches represent the Master developer's vision. It is intended that these ideas represent a pictorial standard to be used by the architect with the text description to develop new and unique architectural designs. These designs are to be submitted to the Master Developer for approval.



Examples of acceptable Attached Single-Family facade designs indicating the use of elements such as dormers, bay window projections and dominant entry features.

IV. Architectural Design Standards

D. Residential



EXTERIOR MATERIALS & FINISHES

Materials and trim selections must take into account the nature of the individual building style and be reflective of their traditional appearance and prominence in the neighborhood.

It is encouraged that portions of front elevations incorporate the use of natural materials such as wood siding, brick and stone. Other materials including synthetic stucco, fiber cement siding and vinyl siding shall be acceptable as primary elements provided that portion of elevations include natural materials of wood trim and/or accents.

Corner boards, window and door trims, shutters, band boards, and moldings should be used to differentiate and enhance each individual styled elevation. Entries shall be oriented to the street, and shall receive additional emphasis and detail. Flush rakes and long expanses of flat wall planes are not allowed on thru lots. Gutters, downspouts and splash blocks are required and should be considered with each elevation design.

EXTERIOR COLORS

Color packages shall be developed with consideration for variety and compatibility within each neighborhood as well as throughout the entire community

Required:

1. Approved color schemes shall feature a harmonious range of color blends and shading.
2. Consideration of a monochromatic color scheme within one attached single-family neighborhood.
3. Complementary trim and siding colors with slight variations in contrast.
4. Subtle third color accents.

FRONT ENTRY, SERVICE, PATIO & GARAGE DOORS

Door styles and colors should be used in such a way to emphasize the front entry and de-emphasize the garage and service doors. Wood, insulated metal, fiberglass and quality hardboard materials are acceptable. A variety of door styles and colors are encouraged but the door style must be appropriate to the architectural theme of the building.

Other appropriate features include:

1. Embossed or plant-on detail at front entry doors.
2. Accent colors, consistent on all units.
3. Paneled wood or insulated steel (embossed) garage doors.
4. Muted color schemes on service and garage doors.
5. Mixed use of single and double garage doors.
6. Trim wraps around all doors.

ROOF ACCESSORIES, GUTTERS AND DOWNSPOUTS

It is encouraged that all exposed, unpainted metal materials are hidden or muted from the public eye whenever possible. Exposed flues and roof vents are encouraged to be located on the back slope of roofs.

CHIMNEYS

Chimneys should be simple in design, accenting the architectural style of the building to ensure consistency and style. Through-roof chimney projections shall be clad of the same predominant siding material on the home.



Examples of acceptable Attached Single-Family facade designs indicating the use of elements such as dormers and dominant entry features.

Note: The pictures, renderings, drawings and sketches represent the Master developer's vision. It is intended that these ideas represent a pictorial standard to be used by the architect with the text description to develop new and unique architectural designs. These designs are to be submitted to the Master Developer for approval.

IV. Architectural Design Standards



DESIGN STANDARDS: CONDOMINIUMS AND APARTMENTS

It is envisioned that all multi-family buildings will be designed as a "whole" rather than an assemblage of individual units.

ELEVATIONS

Multi-family communities should either mix styles within an individual neighborhood or create an entire neighborhood around a specific architectural character (or theme). There shall be no minimum percentage of masonry applied to multi-family buildings; rather a measure of what is appropriate to a particular style shall govern.

Minimum Requirements:

1. Minimum of (3) color packages.
2. Interpretations of traditional character
3. Blended use of a variety of traditional architectural themes.

SCALE AND MASSING

Design consideration must be given to the relationship of architectural massing and the scale of building elements in the multi-family neighborhoods. Exterior elevation design must consider the scale, balance and character of the entire assembled elevation. The incorporation of animated roof lines, well defined unit entries, usable covered porches, bay windows and other residentially scaled elements are critical to reduce the frontal mass and impact of the building.

Design Considerations:

1. Overall building mass scaled down through varying roof heights and styles.
2. Appropriate sense of scale and balance.
3. Architectural elements such as dormer, bay window projections and dominant entry elements.
4. Asymmetrical building elevation design is encouraged.

EXTERIOR MATERIALS & FINISHES

Materials and trim selections must take into account the nature of the individual building style and be reflective of their traditional appearance and prominence in the neighborhood. It is encouraged that portions of front elevations incorporate the use of natural materials such as wood siding, brick and stone. Other materials including synthetic stucco, fiber cement siding and vinyl siding shall be acceptable as primary elements provided that portion of elevations include natural materials of wood trim and/or accents. Corner boards, window and door trims, shutters, band boards, and moldings should be used to differentiate and enhance each individual styled elevation. Entries shall be oriented to the street, and shall receive additional emphasis and detail. Flush rakes and long expanses of flat wall planes are not allowed on thru lots. Gutters, downspouts and splash blocks are required and should be considered with each elevation design.



Examples of acceptable Multi-Family facade designs indicating the use of elements such as dormers, wall projections and dominant entry features.

Note: The pictures, renderings, drawings and sketches represent the Master developer's vision. It is intended that these ideas represent a pictorial standard to be used by the architect with the text description to develop new and unique architectural designs. These designs are to be submitted to the Master Developer for approval.

IV. Architectural Design Standards

D. Residential



EXTERIOR COLORS

Color packages shall be developed with consideration for variety and compatibility within each neighborhood as well as throughout the entire community.

Required:

1. Approved color schemes shall feature a harmonious range of color blends and shading.
2. Consideration of a monochromatic color scheme within one multi-family neighborhood.
3. Complementary trim and siding colors with slight variations in contrast.
4. Subtle third color accents.

FRONT ENTRY, SERVICE, PATIO & GARAGE DOORS

Door styles and colors should be used in such a way to emphasize the front entry and de-emphasize the garage and service doors. Wood, insulated metal, fiberglass and quality hardboard materials are acceptable. A variety of door styles and colors are encouraged but the door style must be appropriate to the architectural theme of the building.

Other appropriate features include:

1. Embossed or plant-on detail at front entry doors.
2. Accent colors, consistent on all units.
3. Paneled wood or insulated steel (embossed) garage doors.
4. Muted color schemes on service and garage doors.
5. Mixed use of single and double garage doors.
6. Trim wraps around all doors.

ROOF ACCESSORIES, GUTTERS AND DOWNSPOUTS

It is encouraged that all exposed, unpainted metal materials are hidden or muted from the public eye whenever possible. Exposed flues and roof vents are encouraged to be located on the back slope of roofs.



Examples of acceptable Multi-Family facade designs indicating the use of elements such as dormers, wall projections and dominant entry features.

Note: The pictures, renderings, drawings and sketches represent the Master developer's vision. It is intended that these ideas represent a pictorial standard to be used by the architect with the text description to develop new and unique architectural designs. These designs are to be submitted to the Master Developer for approval.

IV. Architectural Design Standards



DESIGN STANDARD: SINGLE FAMILY

It is the goal of the Master Developer to encourage a variety of Architectural Styles, which de-emphasize the garage in creative ways and add value to the community through good planning. Alternate elevations shall be distinctive and varied to avoid monotony. The Builder and Architect are required to utilize the following architectural guidelines, techniques and requirements when creating the various residential housing types and neighborhoods.

ELEVATIONS

To create diversity and individuality throughout **Cornerstone**, and to comply with anti-monotony standards, it is critical that a variety of styles and color packages be provided for homes in proximity to one another. It is encouraged that 10% of the garages be side loaded or rear loaded. These alternate garage locations should be incorporated (where practical) on corner lots. It is envisioned that these garage conditions, along with conventional front loaded garages, will provide additional streetscape diversity to the community. Alternate garage solutions such as split-garages and recessed front load garages, as well as a blend of single and double garage doors are encouraged.

MINIMUM REQUIREMENTS

1. Minimum of (3) elevation themes for each plan type.
2. Minimum of (3) color packages.
3. No similar elevation design will repeat within 200 feet on the same or opposite side of the street.
4. Elevations will be considered dissimilar when they exhibit significant changes of the following elements:
 - a. Roof forms
 - b. Window patterns
 - c. Massing
 - d. Porch/Entry conditions
 - e. Material allocations

SCALE AND MASSING

Design consideration must be given to the relationship of architectural massing and the scale of building elements in all single family neighborhoods. The incorporation of second story dormer, porch entries, usable covered porches, bay windows and other residentially scaled elements are critical to reduce the frontal mass and impact of the homes. A strong expression of entry and a forward orientation of the front door is mandatory.

When terrain requires a walkout, or stepped grade condition, exterior wall finishes should "step" down with grade, with each "step" beginning 8 inches above finished grade. Long expanses of exposed concrete shall be avoided.

Design Considerations:

1. Mass of dwellings scaled down through varying roof heights and styles.
2. Appropriate sense of scale and balance.
3. Architectural elements such as dormer, bay window projections and dominant entry elements.
4. Exterior wall finishes that follow slopes in grade, to the extent possible.
5. De-emphasis of 2 or 3 car garage elements, by setting back the garage plane, or softening the heavy mass with appropriate architectural consideration.



Examples of acceptable Single-Family designs.

Note: The pictures, renderings, drawings and sketches represent the Master developer's vision. It is intended that these ideas represent a pictorial standard to be used by the architect with the text description to develop new and unique architectural designs. These designs are to be submitted to the Master Developer for approval.

IV. Architectural Design Standards

D. Residential



EXTERIOR MATERIALS & FINISHES

Materials and trim selections must take into account the nature of the individual home styles and be reflective of their traditional appearance and prominence in the neighborhoods. It is encouraged that portions of front elevations incorporate the use of natural materials such as wood siding, brick and stone. Other materials including synthetic stucco, fiber cement siding and vinyl siding shall be acceptable as primary elements provided that portion of elevations include natural materials of wood trim and/or accents.

Corner boards, window and door trims, shutters, band boards, and moldings should be used to differentiate and enhance each individual styled elevation. Entries shall be oriented to the street, and shall receive additional emphasis and detail. Flush rakes and long expanses of flat wall planes are not allowed on thru lots. Gutters, downspouts and splash blocks are required and should be considered with each elevation design.

EXTERIOR COLORS

Color packages shall be developed with consideration for variety and compatibility within each neighborhood as well as throughout the entire community.

Required:

1. Approved color schemes shall feature a harmonious range of color blends and shading.
2. Synthetic stucco areas shall range from off-whites to light browns and light warm grays.
3. Complementary trim and siding colors with slight variations in contrast.
4. Subtle third color accents.

REAR ELEVATION CONTROLS

In neighborhoods that back up to significant community roadways, it is the intent to provide an appearance control on those homes. On those identified lots, at least three (3) techniques from the list below shall be incorporated onto rear elevations:

1. Significant plane breaks (equal to or greater than 12" in depth) Cantilevers are an acceptable technique.
2. Projected box bay windows.
3. Window grids and window trim wraps.
4. Roof break elements (i.e. overlay gables).
5. Color and materials consistent with that home's architectural style.
6. At least 20% of the rear elevation must incorporate materials and/or accent materials of the front elevation.



Examples of acceptable Single-Family designs.

Note: The pictures, renderings, drawings and sketches represent the Master developer's vision. It is intended that these ideas represent a pictorial standard to be used by the architect with the text description to develop new and unique architectural designs. These designs are to be submitted to the Master Developer for approval.

IV. Architectural Design Standards



FRONT ENTRY, SERVICE, PATIO & GARAGE DOORS

Door styles and colors should be used in such a way to emphasize the front entry and de-emphasize the garage and service doors. Wood, insulated metal, fiberglass and quality hardboard materials are acceptable. A variety of door styles and colors are encouraged. Front entry doors shall be energy efficient and appropriate to the architectural theme of the home. Other appropriate features include:

1. Embossed or plant-on detail at front entry doors.
2. Accent colors.
3. Paneled wood or insulated steel (embossed) garage doors.
4. Muted color schemes on service and garage doors.
5. Mixed use of single and double garage doors.
6. Trim wraps around all doors.

ROOF ACCESSORIES, GUTTERS AND DOWNSPOUTS

It is encouraged that all exposed, unpainted metal materials are hidden or muted from the public eye whenever possible. Exposed flues and roof vents are encouraged to be located on the back slope of roofs.

CHIMNEYS

Chimneys should be simple in design, accenting the architectural style of the building to ensure consistency and style. Through-roof chimney projections shall be clad of the same predominant siding material on the home.



Examples of acceptable design approach for Single-Family front entries, garage doors and chimney.

IV. Architectural Design Standards

E. Residential



DESIGN STANDARDS: COMMON RESIDENTIAL ELEMENTS

FENCING

In order to provide a cohesive, well-planned fencing program, lot line fences for rear and side yards have been pre-determined by the Developer for multi-family areas. Fencing in these areas will require the approval of the respective Homeowners Associations and the Village of Grayslake.

Within traditional single-family neighborhoods, desired fencing where the rear yard or side yard abuts a roadway, open space or common area (including landscape buffer or detention area), the standard fence design criteria shown below shall be followed. All other rear and side yard lot line fences must meet the criteria below. Structural framing shall be on the lot side of the fence whose owner wishes to erect the fence, by agreement with the adjacent property owner, or on the lot side of the fence adjacent to a roadway. Rear yard and side yard fences must be located within 6" of the lot line. This does not preclude internal fences used to screen patios, pools and/or other private features whose designs are appropriate to the house architecture.

Fencing between single-family houses shall meet the following criteria:

1. Fences will be installed starting at least 15' back from the front corner of any house, but may be installed further than 15' if so governed by an adjacent house.
2. Fences shall not exceed 6' (72") in height.
3. Fencing on single-family corner lots is allowed, subject to the limitation that no fence shall encroach beyond building setback and into front yard space.
4. Chain link fencing is discouraged and stockade fences shall not be allowed.
5. Fencing must meet Village building codes.



Examples of acceptable fencing in residential areas.

DECKS, PORCHES & BALCONIES

Lighting of homes and their surroundings can add dynamic effects within a community. Effective exterior lighting within **Cornerstone** is encouraged. Light fixtures shall be consistent with the theme of the community and building design. All lighting should be "down" or "area" lighting. All light sources should be white (no colored lights) and no spill over of lights should occur on neighboring properties. Lighting should be shielded to conceal glare.

Appropriate:

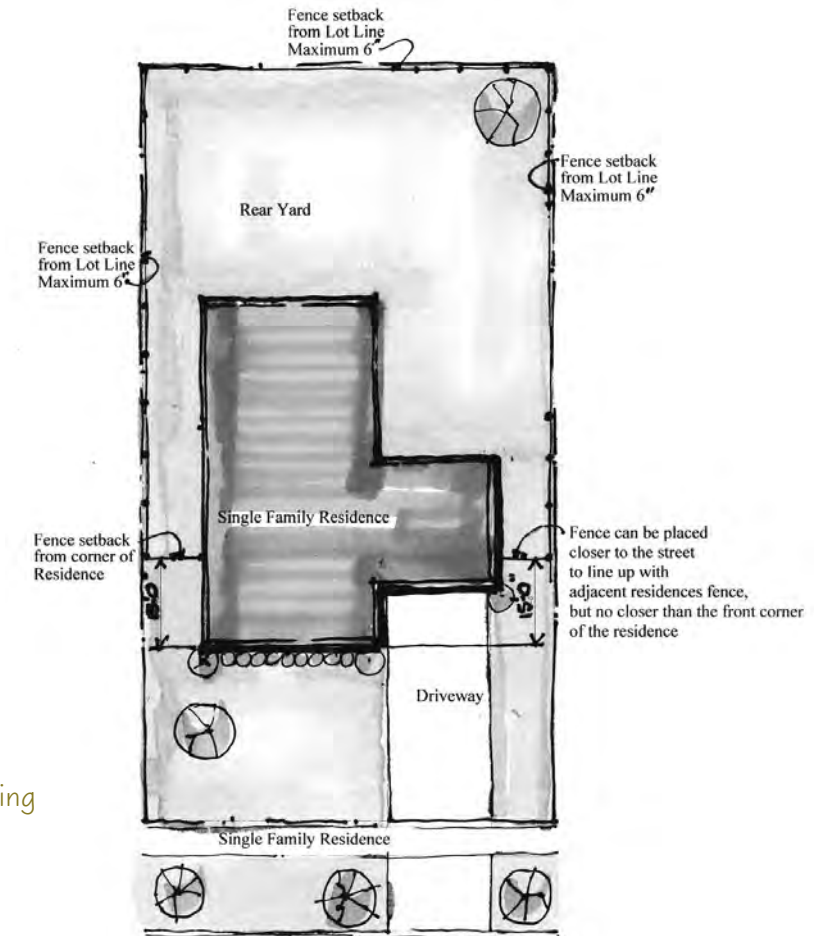
1. Wall mounted fixtures at entries that blend with theme of community and building design.
2. Fixtures and standards shall be designed to aesthetically relate to the character of the development.
3. Wall mounted and yard light fixtures are encouraged to be complementary or matching.
4. Photo eye control lighting shall be incorporated at key points of entry for safety.

BUILDING & YARD LIGHTING

Entry porches should be designed as key features that invite entrance to the home. The use of arches, pediments, columns and railings are excellent examples of traditional design elements to be incorporated where applicable. Decks attached to houses should be large enough to be usable, and built with appropriate materials which can be exposed to the weather. Enclosed screen porches are acceptable if designed as part of the exterior and are built from materials consistent with the rest of the building.

Appropriate:

1. Wood deck trim, painted or stained to be compatible with the house finishes, oriented to the rear.
2. Deck handrail systems simple in design and reflective of the dwellings style and character.
3. Rear screen porches that fit the architectural style.
4. Dominant entry porches.



Examples of acceptable fencing plan in residential areas.

V. Signage

A. General Overview

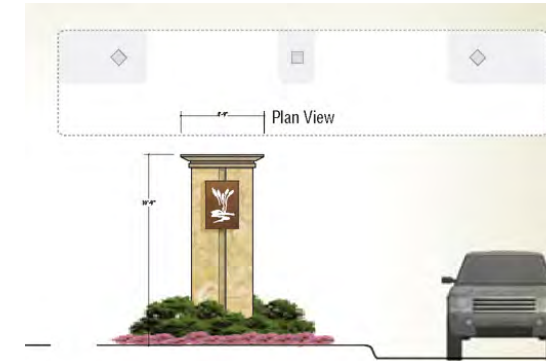


The following standards have been prepared to provide the Master Developer, Property Owners, Tenants, Architects, Contractors and Builder/ Developers with important information related to the design intent for signs that will be utilized throughout the **Cornerstone** Development.

All signs proposed for use shall conform to the guidelines within this section and shall be approved by the Master Developer and the Village.

GENERAL SIGNAGE DESIGN STANDARDS

- Sign regulations of the Village of Grayslake are as set forth in The Village Code, Title 15, BUILDINGS AND CONSTRUCTION: Chapter 15.28, SIGN CODE; Section 15.48, BUILDING FAÇADE ARCHITECTURAL DESIGN STANDARDS. These regulations are to be followed unless otherwise defined by the Master Developer's criteria herein stated, developed in conjunction with the Village of Grayslake.
- Sign packages must be submitted to the Master Developer for review and approval prior to fabrication or submission for permit to the Village of Grayslake.
- The Master Developer shall provide a cohesive project development signage program for all land uses, Office/R&D/ Industrial, Retail/ Commercial and Residential.
- Individual Tenant signage will be allowed as designed to meet all Master Developer signage guidelines set forth in this pattern book and any subsequent Tenant Criteria Manuals developed subsequently for portions of the overall **Cornerstone** Development. See section V.3-5.
- All signs shall be readable and clear and not conflict with signage on adjoining property or buildings.
- Signs must be fabricated and installed according to national, local building and electrical codes and must bear UL label.
- All signage is to be of highest quality construction. Shop fabrication and painting is required. All attachments, labels, fasteners, mounting brackets, wiring, clips, transformers, disconnects, lamps and other mechanisms required must be concealed from view.
- Neon and zenon type sign lighting shall not be allowed on either the interior, within the design control zone (see Tenant Criteria Manual), or exterior of the building unless this type of lighting is appropriate to the architectural style chosen, the use of neon on backlit "halo effect" letters in a non-visible application may also be approved by the Master Developer.
- Sign company names or stamps shall be concealed.



Example of Boundary Marker



Example of Wall Sign

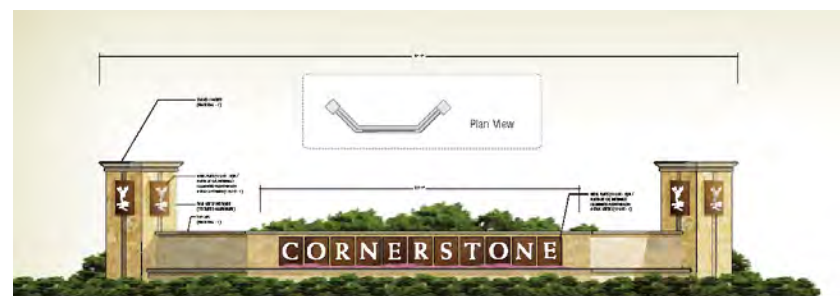


Example of Illuminated Projection Signage



Example of Awning Signage

Example of Ceremonial Entrance Feature Design



Note: The pictures, renderings, drawings and sketches represent the vision of the Master Developer for Cornerstone. It is the Master Developer's intention that these images represent a pictorial standard to be used in combination with the text guidelines to serve as standards for the final development plans to be submitted for approval at each phase of the development.



Possible locations of Project Signage by type.



Location Plan Map

- (A) Ceremonial Entrance Feature
- (B) Boundry Marker
- (C) Village Entry Sign

V. Signage

B. Project Development Signage (by Master Developer)



The following sign types shall be allowed as part of the environmental signage package for the overall **Cornerstone** development.

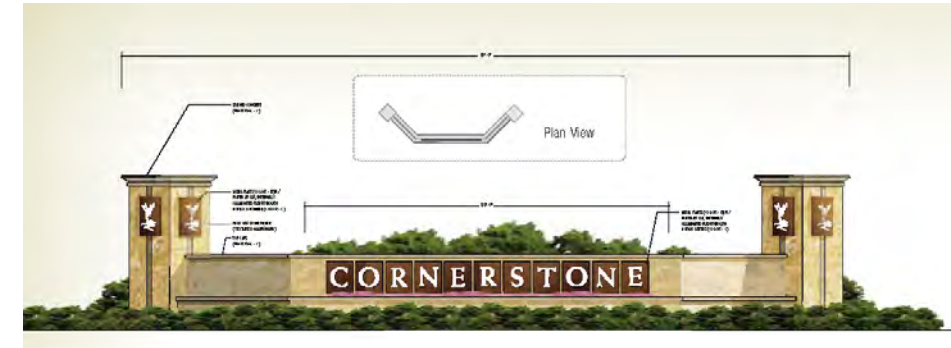
GENERAL PROJECT DEVELOPMENT SIGN TYPES AND STANDARDS

- Project development signs are subject to Village approval.
- Letters on project development signs shall be in keeping with the overall architectural style of the proposed sign. A single color is preferred but multiple colors may be used if it enhances the design in relation to the proposed sign style.

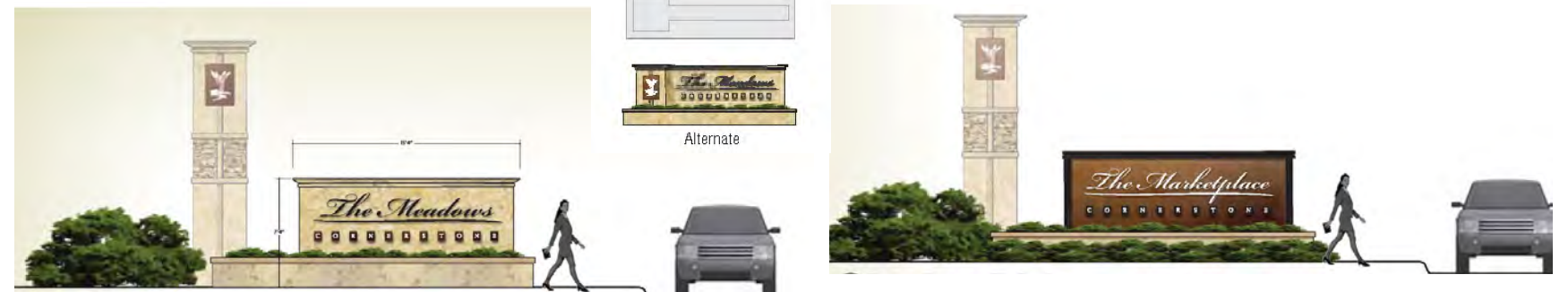
CEREMONIAL ENTRANCE FEATURE

- Large-scale monument-type signs intended to convey a sense of arrival and to identify the overall **Cornerstone** development. Ceremonial Entrance Features shall be indirectly and/or internally illuminated and shall be placed in combination with landscaping and/or berming at gateway entries to the development.
- Ceremonial Entrance Features shall be constructed, in part, of brick, stone, or other material complimentary to the overall architectural styles of potential buildings within the development. See approved Exterior Material Legend, Section IV.
- Letters on Ceremonial Entrance Feature sign shall be in keeping with the overall architectural style of the proposed sign. A single color is preferred but multiple colors may be used if it enhances the design in relation to the proposed sign style.

Example of Ceremonial Entrance Feature Concept



Examples of Entrance Monument Sign Concepts



ENTRANCE MONUMENT SIGNS

- Secondary-scale monument-type signs intended to communicate the unified character of **Cornerstone**, while identifying the separate land uses within the development. Entrance monuments shall be indirectly and/or internally illuminated and shall be placed in combination with landscaping and/or berming at entries to the different land use areas within the development.
- Entrance Monument Signs shall be constructed, in part, of brick, stone, or other material complimentary to the overall architectural styles of potential buildings within the development. See approved Exterior Material Legend, Section IV.
- Letters on Entrance Monument Sign shall be in keeping with the overall architectural style of the proposed sign. A single color is also preferred but multiple colors may be used if it enhances the design in relation to the proposed sign style.



BOUNDARY MARKERS

- Vertical column-like monuments intended for use independently or in combination with Entry Monument Signs to reinforce sense of place, project boundaries, and/or overall project identity. Entrance monuments shall be indirectly or internally illuminated and shall be placed in combination with landscaping and/or berming at entries to different land use areas within the development.
- Boundary Markers shall be constructed, in part, of brick, stone, or other material complimentary to the overall architectural styles of potential buildings within the development. See approved Exterior Material Legend, Section IV.

Example of Boundary Marker



V. Signage

B. Project Development Signage (by Master Developer)



VILLAGE ENTRY SIGNS

- Monument sign type intended to convey a sense of arrival into the Village of Grayslake may be at appropriate locations within the **Cornerstone** development. Monument to be indirectly and/or internally illuminated and shall be placed in combination with landscaping and/ or berming.
- Village Entry Signs shall be constructed, in part, of brick, stone, or other materials complimentary to the overall architectural styles of potential buildings within the development. See approved Exterior Material Legend, Section IV.

ELECTRONIC MESSAGE SIGNS

Electronic Message Signs are recommended to be constructed using LED (light emitting diodes) technology. Liquid crystal displays, fiber optics, plasma display screens or any such similar technologies are also permitted. Electronic Message Signs are permitted under the following conditions:

- LED signs are not permitted to face any residential buildings
- LED signs shall be a minimum of 500 hundred feet away form any residential structure.
- The electronic message board component of any sign may comprise of no more than thirty (30) percent of the overall sign or one square foot of sign area per every 1,200 square feet of retail, and in no case be greater than seventy feet of sign area.
- Words and images shall not be more frequent than once every eight seconds.
- Messages or images shall not contain fast flickering, blinking or flashing animation. The Village reserves the right to restrict the use of animation.
- LED signs are only permitted on exterior facades of buildings greater than 30,000 square feet.

VEHICULAR DIRECTIONAL SIGNAGE

- Monument sign type intended to provide direction to individuals utilizing roadways within the project development at appropriate points within the **Cornerstone** development. Signs, if illuminated, shall be indirectly and/or internally illuminated.
- Vehicle Directional Signage shall be constructed, in part, of brick, stone, other masonry and/or finished metals complimentary to the overall architectural styles of potential buildings within the development. See approved Exterior Material Legend, Section IV.
- Letters on Vehicle Directional Sign shall be in keeping with the overall architectural style of the proposed sign. A single color is also preferred but multiple colors may be used if it enhances the design in relation to the proposed sign style.
- Size of the supporting structure shall be greater than or equal to twenty-five (25) percent of the total width of the sign at its widest part.
- Vehicular Directional Signs shall not exceed 32 square feet in area, per side, oriented horizontally or vertically.

PEDESTRIAN WAY-FINDING AND AMENITY SIGNAGE

- Sign type intended to provide direction to pedestrians inside the project development at appropriate points within the Cornerstone development.
- Letters on pedestrian way-finding and amenity signs shall be in keeping with the overall architectural style of the proposed sign. A single color is also preferred but multiple colors may be used if it enhances the design in relation to the proposed sign style.
- Size of sign area shall not exceed sixteen (16) square feet on each side.

BANNERS

- Banner materials and print application should carry a minimum 5 year warranty on wear and fade resistance.
- Banners should always be installed on "break away" arms when attached to light poles
- Maximum square footage of overall banner sign area is 12 square feet for light pole mounted banners.
- For building mounted banners on buildings over 30,000 square feet, the maximum square footage of overall banner sign area is 32 square feet.
- For building mounted banners on buildings less than 30,000 square feet, the maximum square footage of overall banner sign area is 24 square feet.
- The use of banners shall require approval of the Master Developer and the Village.

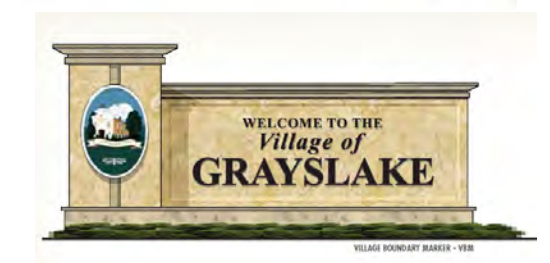
OPERATIONAL SIGNS

- Sign type intended to convey information regarding functional operations inside the project development. Such signs may include but not be limited to signs used to identify fire department connections, or signs posted to identify areas such as service courts.
- Letters on operational signs shall be in keeping with the overall architectural style of the proposed sign unless otherwise regulated for the sign's intended use. A single color is also preferred but multiple colors may be used if it enhances the design or is otherwise regulated for the sign's intended use.
- Such signs shall not exceed two (2) square feet in sign area unless otherwise regulated for the sign's intended use.
- Master Developer reserves the right to utilize decorative sign supports to display regulatory signage, such as may be required for traffic control.

Examples of Entrance Monument Sign Concepts



Examples of Village Entry Sign Concepts



V. Signage

C. Tenant Signs - Office/R&D/Industrial Areas



The following standards have been developed to accommodate Office/R&D/Industrial developments and their associated signage types. They have been developed in relation to the Village of Grayslake signage and architectural standards and ordinances. The Master Developer reserves the right to incorporate additional signage controls within the project's Covenants.

GENERAL OFFICE/R&D/INDUSTRIAL TENANT SIGNAGE STANDARDS:

- All tenant signage must meet the requirements of the signage standards set forth below and are to be submitted to the Master Developer for approval prior to submittal to the Village for permit.
- Sign colors and materials shall compliment and shall be consistent with the principal construction materials and style of the Master Developer's Project Development Signage and subject to Master Developer Covenants and approval.
- The signage is limited to the Tenant's trade name and/or a crest, shield, logo or other established corporate insignia.
- Signs, if illuminated, shall be indirectly or internally illuminated.
- Prohibited Sign types:
 - i. Projecting boxed or cabinet-type signs.
 - ii. Wall-mounted box and panel signs.
 - iii. Signs employing un-edged or uncapped plastic letters with no return and exposed fastenings.
 - iv. Painted signs.
 - v. Moving, rotating signs or noise-making signs.
 - vi. Paper signs and stickers.
 - vii. Raceway signs.
 - viii. Backlit box type signs with translucent sign faces shall not be allowed.
 - ix. Flashing signs.
 - x. Exposed neon tubing used as signage.
- High quality graphics shall be characteristic of Tenant project signs.
- Illuminated Signs
 - i. Signs may contain Individual dimensional work or metal, backlit "halo effect" letters. The illumination behind such letters shall be neon or LED. Letters may be back-illuminated with lamps contained completely within the depth of the letter. Maximum brightness shall not exceed 100 foot-lamberts.
 - ii. Internally illuminated channel letters with opaque metal sides and translucent plastic faces are acceptable.
- LED signs are prohibited.
- Acceptable tenant signage materials include:
 - i. Brass, Copper, Stainless Steel, Factory Finished Metal
 - ii. Carved Wood (must be appropriate for exterior application)
 - iii. Marble, Granite, Slate, Ceramic Tiles
 - iv. Stone, Stone Veneers
 - v. Lexan (dimensional)
 - vi. Cast Acrylic, Painted Acrylic
 - vii. 3-Form (exterior grade)
 - viii. Composite Materials such as: DiBond, Alumalite, LusterBoard

Typical locations for Tenant Identification Signs.



Example of Tenant Identification Sign Concepts



V. Signage

C. Tenant Signs - Office/R&D/Industrial Areas



MONUMENT SIGN STANDARDS

The following standards have been established to address free-standing signs identifying one or more tenants located in a building or buildings within a parcel or lot.

- Monument signs shall be constructed on a foundation separate from the building foundation, and shall have a supporting structure with a size greater than or equal to 25% of the total width of the sign at its' widest point.
- Monument signs shall be allowed within 1 foot of the public right-of-way on streets interior to the development.
- Monument signs shall be landscaped and shall be indirectly and/or internally illuminated.
- Monument signs shall be limited to a maximum quantity of one (1) per lot frontage. Additional building identity signage for parcels with a street frontage greater than 1,000 LF may be allowed subject to the approval of the Master Developer.
- Maximum square feet per building identity sign shall be limited to a maximum of 100 square feet, excluding building address information. Increases to the square footage sign allowance for larger or combined parcels (20 acres or greater) shall require special approval by the Master Developer and the Village.

WALL SIGN STANDARDS

The following standards have been established to address signs attached to the façade of a building which depict the name and/or address of a building or establishment occupying the premises where the sign is located as a means of identifying the building or establishment.

- A tenant sign mounted to the building exterior must be dimensional in nature and project at least 1" beyond the mounting surface, but shall not extend more than 18 inches from the façade as measured from the face of the building wall to which it is attached.
- Building mounted signage shall utilize individual letters or use of raceways shall be fully concealed from street level views.
- All illuminated wall signs shall have a sign face design with only individual letters/logos internally illuminated or "halo-lit" (backlit). A space shall be provided between letter components and letters. If raceways are used, they shall be fully concealed from street level views.
- Non-illuminated flat wall mounted signs with building mounted illumination are permitted, provided illumination does not extend beyond the sign area.
- Signs shall be placed on suitable wall façade area as approved by the Master Developer.
- Only one sign will be permitted on any one building façade.
- Maximum square feet per wall sign shall not exceed 30% of the area to which it is applied, however, no wall sign shall exceed 150 square feet.

TEMPORARY SIGN STANDARDS

The Village Sign Code shall govern any temporary signage within the Office/R&D/Industrial development unless noted otherwise below.

- Temporary signage must be removed from the site within 7 working days of installation of the permanent Tenant signage. Location of temporary signage outside of Tenant footprint to be determined by the Master Developer and Village, and installed inside Subject Project's property.

Examples of Tenant Identification Sign Concepts



Examples of Tenant Identity Sign in Office /R&D/ Industrial area



Illustration of Entrance Monument Signage at the entrance of Office/R&D/Industrial area

V. Signage

D. Tenant Signs - Retail/Commercial Uses



GENERAL RETAIL/COMMERCIAL TENANT SIGNAGE STANDARDS

The following standards have been developed to accommodate Large - Format Retail/ Commercial developments and their associated signage types. They have been developed in relation to the Village of Grayslake signage and architectural standards and ordinances. These standards are divided into Sections 1-4 to address the major signage types that may be incorporated. The Master Developer reserves the right to incorporate additional signage controls within the retail project's Tenant Criteria Manual.

1.0 GENERAL RETAIL/COMMERCIAL TENANT SIGNAGE STANDARDS

- A. All tenant signage must meet the requirements of the signage standards set forth below and are to be submitted to the Master Developer for approval prior to submittal to the Village for permit.
- B. Signs shall be placed in clear, architecturally defined areas on windows, awnings, or suitable wall spaces such as within the sign band, frieze, or building transom.
- C. Tenants are encouraged to use wall, hanging, or awning signage in lieu of street/ monument signs.
- D. Signs shall be concentrated near the pedestrian level, unless building size/ use dictate otherwise. Further, all signs shall appear to be integrated with, and not obstruct, architectural features or characteristics of the building façade. The Master Developer will dictate exterior sign locations zones on the Master Developer's shell elevations for all multi-tenant buildings and provide further criteria for location placement within the Tenant Criteria Manual for Outlot Buildings and Large Format retailers.
- E. Sign colors and materials shall compliment the principal construction materials and architectural style of the building façade.
- F. The signage is limited to the Tenant's trade name as defined in the lease agreement with Master Developer. The Tenant may use a crest, shield, logo or other established corporate insignia. Area of sign, including logos or corporate insignia, may not exceed the total permitted sign area, See items 1.B-1.D.
- G. The Tenant's storefront signage shall be proportioned to the scale of the overall storefront and building façade design. Tenant signs shall not overlap design elements of the Master Developer provided shell.
- H. Signage lighting may be required and should be in keeping with the overall architectural style and complement the balance of the building lighting. Indirect lighting is preferred in lieu of direct lighting.
- I. All illuminated wall type signs shall have a sign face design with only individual letters, internally or back illuminated. Space shall be provided between letter components and letters. Letters shall not appear as one mass.
- J. Signage must be anchored to Master Developer provided backing. If sign is to be located where no backing occurs the Tenant is responsible to provide fire resistant treated (FRT) plywood backing and to repair Developers façade finishes to their original state.
- K. Master Developer must approve interior tenant signs that occur within the tenant control zone (see Tenant Criteria Manual) and that are visible from the sidewalk.
- L. Tenant signs shall not be located on any portions of the upper stories of building facades. Master Developer reserves the right to add non-tenant signage at these locations.
- M. Prohibited Sign types:
 - Projecting boxed or cabinet-type signs not part of a tenant's branding. Individual letters or insignia attached to storefront construction may project no more than 8" beyond storefront construction. Signs employing internally lit, vacuum formed type, plastic letters.
 - Wall-mounted box and panel signs.
 - Signs employing un-edged or uncapped plastic letters with no return and exposed fastenings.
 - Signs painted directly on the storefront sign band.
 - Moving, rotating signs or noise-making signs.
 - Paper signs and stickers.
 - Raceway signs.
 - Backlit box type signs with translucent sign faces shall not be allowed.

Possible locations for Entrance Monument Signs at retail.



Illustration of Entrance Monument Sign at the entrance of retail area



- Flashing signs.
 - Exposed neon tubing used as signage.
 - Print media (newspaper, advertising circulars, etc.) displayed in windows.
- N. All signage, where allowed by Landlord, shall be by Tenant and Tenant's expense. Master Developer reserves the right to design Tenant's sign if Tenant's sign is unacceptable. Fabrication, installation and power source shall be by Tenant at Tenant's expense.
- O. High quality graphics shall be characteristic of Tenant project signs. It is highly suggested that Tenants consult a graphic designer to assist in the design of their signage. At no time will hand-lettered, non-professional or newspaper advertisements be displayed on the storefronts or within the design control area, see Tenant Criteria Manual.
- P. Etched glass graphics identifying store name, hours of operation and telephone are permitted but subject to Master Developer review and approval.
- Q. Illuminated Signs
- Signs may contain Individual dimensional work or metal, backlit "halo effect" letters. The illumination behind such letters shall be neon or LED. Letters may be back-illuminated with lamps contained completely within the depth of the letter. Maximum brightness shall not exceed 100 foot-lamberts.
 - Internally illuminated channel letters with opaque metal sides and translucent plastic faces are acceptable.
- R. A tenant sign mounted to the building exterior must be dimensional in nature and project at least 1" beyond the mounting surface.
- S. Projecting signs, symbols or logos will be considered on an individual case basis by the Master Developer and Village of Grayslake provided they are decorative and artistic in nature.
- T. LED signs are prohibited.
- U. Window signs shall not exceed twenty-five (25) percent of the total glass area of the window or door on which they are located. Such signs shall be in addition to those signs otherwise permitted.
- V. Acceptable tenant signage materials include:
- Etched glass
 - Brass
 - Copper
 - Carved Wood (must be appropriate for exterior application)
 - Stained glass
 - Marble, Granite, Slate Tiles
 - Ceramic Tiles
 - Lexan (dimensional)
 - High Density Foam
 - Stainless Steel
 - Factory Finished Metal
 - Cast Acrylic
 - 3-Form (exterior grade)
 - Composite Materials such as: DiBond, Alumalite, LusterBoard



Example of Projection Sign



Example of Operational Sign



Example of Pedestrian Way-finding and Amenity Signage



Example of Vehicular Directional Signage



Example of Vehicular Directional Signage



2.0 WALL SIGNS

A. GENERAL WALL SIGN STANDARDS

- All illuminated wall type signs shall have a sign face design with only individual letters/logos internally illuminated or "halo-lit" (backlit). A space shall be provided between letter components and letters.
- Non-illuminated flat wall mounted signs with building mounted illumination are permitted, provided illumination does not extend beyond the sign area.

B. MULTI-TENANT BUILDING / IN-LINE RETAILER WALL SIGNS

- Each tenant within a Multi-Tenant Building may erect one (1) wall sign indicating the name and nature of the occupancy. One wall sign shall be allowed for each tenant on each building façade facing a street or parking area.
- Signage area should not exceed 5% of the total area of the tenant façade, should not exceed 36 inches in height, and not stand more than 8 inches thick. Sign shall not exceed 12% of the façade area. Not more than one (1) sign will be permitted on any one façade and the sign should be placed on the building façade in the pre-designated sign band as determined by the Master Developer. A corner tenant may have one (1) sign on front elevation and one (1) sign on side elevation.
- Two story in-line retail / restaurant tenants will have each floor count as one façade to allow additional signage when needed. Signage size is restricted per above bullet point.

C. LARGE FORMAT RETAILER (TENANTS OVER 30,000 SF) WALL SIGNS

- Major identification of Large Format retail buildings should be limited to one building mounted sign per façade. The area of these signs shall comply with the more restrictive of the following, based upon the total area of the façade:
 - i. The signage should be individual letters not exceeding 10 feet in height, 60 feet in length and not stand more than 8 inches thick.
 - ii. 10% of the building façade.
- Exterior signage identifying an in store service, such as a pharmacy, is allowed on one façade only. Individual letters mounted to façade not to exceed 24 inches in height, 20 feet in length and not stand more than 8 inches thick. No more than 2 in store services may be signed in total.

D. OUTLOT BUILDING / WALL SIGNS

- Freestanding outlot buildings should be limited to one building mounted sign per façade and two wall-mounted marquee cases, proximate to their entrance for display of menus or business related services.
- Building mounted signage should not occupy more than 5% of the total building façade, should be individual letters not exceeding 36" and not stand more than 8 inches thick.
- These tenants are not permitted to use panel signage on their façade.
- Restaurant menu boards or service displays will be limited to 24 square feet and may not exceed 6 feet in height. Sign text is limited to name and/or logo and the price signage. Illumination, if desired, should be internal. Pick Up / Take Out signage is permitted. Sign not to exceed 24 inches height and 48 inches in length. Panel signage is permitted.
- Maximum height of a drive through menu sign is 6'-0" above grade and may not exceed 30 square feet.
- A maximum of two drive through menu signs are permitted per drive through building.
- Drive through menu signs must have concealed illumination.



Example of Wall Sign



Example of Wall Sign in Large Format Retail use



Example of Outlot Building Wall Signs.



Example of Large Format Retailer (Anchor)



Example of Multi-Tenant Building / Inline Retailer Wall Signs

V. Signage

D. Tenant Signs - Retail/Commercial Uses



- Freestanding directional signs, located at the entrance to a drive-thru facility are permitted. The freestanding directional sign is limited to six square feet and may not exceed 4 feet in height. Sign text is limited to name and/or logo and directional arrow. Illumination, if desired, should be internal.
- Service windows may not exceed 2 signs; this includes on-window or freestanding identification. The maximum square footage of the sign area may not exceed 4 sq ft or 15% of the window area.

3.0 SECONDARY SIGNAGE

A. GENERAL SECONDARY SIGNAGE STANDARDS

- Other tenant sign types may be allowed for individual tenants. Their design, size and material will be dictated by the Master Developer's Tenant Criteria Manual.
- The previously stated General Design Standards shall apply to secondary signage.

B. BLADE SIGNS

- Blade signs identifying the tenant may be suspended from the soffit of a pedestrian arcade, canopy /awning, building piers in the area of the tenant's storefront, or from the tenant's storefront.
- This sign should be consistent in shape, perpendicular to the face of the building façade and mounted at a height whereas no part of the sign is less than 9'-0" above finished grade.
- Blade signs should be limited to one sign per façade.
- Blade signs shall not project more than 4'-0" beyond the building façade and the area of the sign shall not exceed 7.5 SF. (18" max height, 48" max width). Nor may they project above the building roofline.
- Blade signs may or may not be illuminated, tenant to provide power.
- Illuminated Blade signs may be internally lit or face lit.

C. AWNING OR CANOPY SIGNS

- Awning or canopy signs are encouraged.
- Awning or canopy graphics will not count against square footage of signage permitted on buildings.
- Awning signs shall be no more than 30% of the awning area to which it is affixed.
- Awnings and canopies must conform to the requirements of the Master Developer's Tenant Criteria Manual.
- Awnings may be constructed of fabric or metal, subject to Master Developer and Village approval.
- On buildings including a canopy or marquee, each tenant will be allowed one additional sign attached beneath such canopy or marquee. Under canopy signs shall be no larger than 60% of the width of the storefront, with a clearance no lower than nine (9) feet above grade.

D. STOREFRONT GLAZING SIGNAGE

- Non-dimensional letters and/or logos applied or sandblasted directly on the inside face of the storefront may be approved on a case-by-case basis by the Master Developer or Village.
- Super graphic treatments of large amount of storefront area may be approved on a case-by-case basis by the Master Developer or Village.
- Silk-screened signs may be applied directly to storefront glazing on the interior surface.



Examples of Canopy Signs



Examples of Blade and Projection Signs



Examples of storefront Glazing Signage



E. MENU BOARD SIGNS

- Signs must be located proximate to the main entrance and are subject to guidelines of use per Master Developer Tenant Criteria Manual.
- Restaurant menu boards or displays will be limited to 24 square feet and may not exceed 6 feet in height.
- Sign text is limited to name and/or logo and the price signage.
- Illumination, if desired, should be internal. Pick Up / Take Out signage is permitted. Sign not to exceed 24 inches height and 48 inches in length.
- Panel signage is not permitted.

F. BUILDING IDENTIFICATION AND ADDRESS SIGNS

- Signs identifying tenant address at main entrance and service entrance shall conform to the requirements of the Tenant Criteria Manual.
- Building Identification and Address Signs shall not exceed fifteen (15) square feet in sign area when providing commercial building addresses.
- Building Identification signs shall not exceed the allowable square footage for tenant identification.

G. SANDWICH BOARD SIGNS

- Not more than one such sign shall be permitted per tenant and are subject to guidelines of use per Master Developer Tenant Criteria Manual.
- Signs shall not be located in the right-of-way or significantly encroach on the path of pedestrian travel.
- Signs should not be greater than six (6) square feet in area per side.
- Signs must be removed when business is not open.
- Such signs shall be located within twenty(20) feet of the main entrance of the store.

4.0 TEMPORARY SIGNAGE

A. GENERAL TEMPORARY SIGNAGE STANDARDS

- The Village Sign Code shall govern any temporary signage within the retail/ commercial development unless noted otherwise below.
- Any Tenants with over 30,000 sq ft are allowed to have remote temporary signage. The temporary signage must be removed from the site within 7 working days of installation of the permanent Tenant signage. Location of temporary signage outside of Tenant footprint to be determined by the Master Developer and Village, and installed inside Subject Project's property. All others may only place the temporary signage where their permanent signage would be located.
- "Future Opening" signs may be placed no more than 21 days prior to opening and must be removed within 24 hours of the business opening date.
- Tenants wishing to have temporary signage on display for up to 30 days after the store opening must petition the Village.
- Temporary signs are not permitted on more than three facades, and the combined area of the signs cannot exceed 5% of the area of each façade, with the total area of all signs less than or equal to 400 square feet.
- Temporary barricades are permitted graphics; must be approved by master developer.



Examples of Building Identification and Address Signs

V. Signage

E. Residential Land Uses



NEIGHBORHOOD DEVELOPMENT IDENTIFICATION SIGN STANDARDS

The following standards have been established to address free-standing signs identifying residential subdivisions or neighborhoods.

- Neighborhood identification signs shall be constructed on a foundation and shall have a supporting structure with a size greater than or equal to 25% of the total width of the sign at its' widest point.
- Neighborhood identification signs shall be allowed within the public right-of-way on streets interior to the development subject to the approval of the Master Developer and the Village.
- Neighborhood identification signs shall be landscaped and if illuminated, shall be indirectly and/or internally illuminated.
- Neighborhood identification signs shall be limited to one (1) per subdivision or neighborhood main entrance
- Maximum square feet per neighborhood identification sign shall be limited to a maximum of 50 square feet.

TEMPORARY SIGN STANDARDS

- The Village Sign Code shall govern any temporary signage within Residential land use areas.

Example of Residential Entrance Monument Concepts



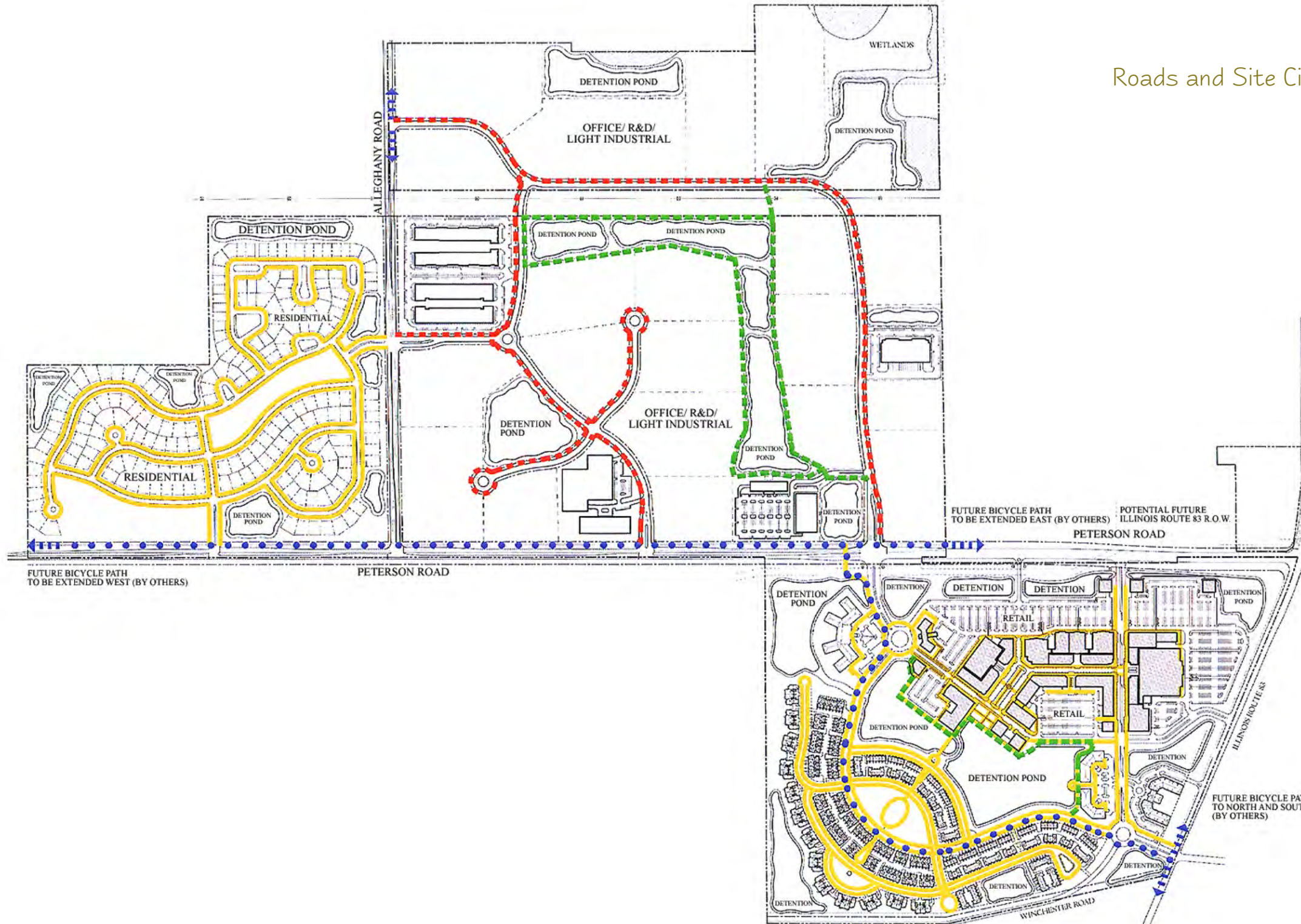
Possible locations for Neighborhood Development Identification signs.



Conceptual Master Plan



Roads and Site Circulation





Master Open Space Plan



PLANTING PALETTE: PONDS AND OPEN SPACE

A. Overstory Trees		
Botanical Name	Common Name	Size
Acer nigrum	Black Maple	2-1/2" caliper
Acer saccharum	Sugar Maple	2-1/2" caliper
Acer x reemanni 'Autumn Blaze'	Autumn Blaze Maple	2-1/2" caliper
Alnus glutinosa	Alder	10' ht.
Betula nigra	River Birch	10' ht.
Carya ovata	Shagbark Hickory	2-1/2" caliper
Celtis occidentalis	Hackberry	2-1/2" caliper
Gleditsia tricanthos inermis	Thornless Honeylocust	2-1/2" caliper
Gymnocladus dioicus	Kentucky Coffeetree	2-1/2" caliper
Nyssa sylvatica	Tupelo	2-1/2" caliper
Platanus occidentalis	American Planetree	2-1/2" caliper
Populus tremuloides	Quaking Aspen	2-1/2" caliper
Quercus alba	White Oak	2-1/2" caliper
Quercus bicolor	Swamp White Oak	2-1/2" caliper
Quercus ellipsoidalis	Northern Pin Oak	2-1/2" caliper
Quercus macrocarpa	Bur Oak	2-1/2" caliper
Quercus muehlenbergii	Chinkapin Oak	2-1/2" caliper
Quercus rubra	Red Oak	2-1/2" caliper
Taxodium distichum	Common Baldcypress	2-1/2" caliper
Tilia americana	American Linden	2-1/2" caliper
Ulmus x 'Morton Glossy'	Triumph Elm	2-1/2" caliper
Ulmus x 'Prospector'	Prospector Elm	2-1/2" caliper

B. Understory Trees		
Botanical Name	Common Name	Size
Amelanchier canadensis	Serviceberry	6' ht.
Cercis canadensis	Redbud	6' ht.
Crataegus spp.	Hawthorn Varieties	6' ht.
Malus spp.	Crabapple Varieties	6' ht.
Viburnum prunifolium	Blackhaw Viburnum	6' ht.

C. Evergreen Trees		
Botanical Name	Common Name	Size
Pinus nigra	Austrian Pine	6' ht.
Pinus pungens	Colorado Spruce	6' ht.

D. Shrubs		
Botanical Name	Common Name	Size
Aronia melanocarpa	Black Chokeberry	24"
Ceanothus americanus	New Jersey Tea	18"
Cornus racemosa	Gray Dogwood	24"
Cornus sericea	Redosier Dogwood	24"
Corylus americana	American Hazelnut	24"
Diervilla lonicera	Dwarf Bush Honeysuckle	18"
Hamamelis virginiana	Witch Hazel	24"
Hypericum kalmianum	Kalm St. John's Wort	18"
Rhus copallina latifolia	Shining Sumac	24"
Rhus glabra	Smooth Sumac	24"
Rhus typhina	Staghorn Sumac	24"
Physocarpus opulifolius	Common Ninebark	24"
Potentilla fruticosa	Bush cinquefoil	18"
Sambucus canadensis	Elderberry	24"
Symphoricarpos albus	Snowberry	18"
Viburnum lentago	Nannyberry	24"

E. Perennials, Grasses, and Forbs		
Botanical Name	Common Name	Size
Alisma subcordatum	Common Water Plantain	Plugs or seeding
Andropogon scoparius	Little Bluestem Grass	Plugs or seeding
Asclepias incarnata	Swamp Milkweed	Plugs or seeding
Asclepias syriaca	Common Milkweed	Plugs or seeding
Asclepias tuberosa	Butterfly Milkweed	Plugs or seeding
Aster azureus	Sky-Blue Aster	Plugs or seeding
Aster laevis	Smooth Blue Aster	Plugs or seeding
Aster novae-angliae	New England Aster	Plugs or seeding
Baptisia leucantha	White Wild Indigo	Plugs or seeding
Bouteloua curtipendula	Side Oats Grama	Plugs or seeding
Calamagrostis canadensis	Blue Joint Grass	Plugs or seeding
Carex lacustris	Common Lake Sedge	Plugs or seeding
Cassia fasciculata	Partridge Pea	Plugs or seeding
Coreopsis palmata	Prairie Coreopsis	Plugs or seeding
Deschampsia caespitosa glauca	Tufted Hair Grass	Plugs or seeding
Eupatorium maculatum	Spotted Joe Pye Weed	Plugs or seeding
Glyceria striata	Fowl Manna Grass	Plugs or seeding
Helianthus occidentalis	Western Sunflower	Plugs or seeding
Heliopsis helianthoides	False Sunflower	Plugs or seeding
Hibiscus palustris	Swamp Rose Mallow	Plugs or seeding
Juncus effusus	Common Rush	Plugs or seeding
Liatis pycnostachya	Prairie Blazing Star	Plugs or seeding
Liatis spicata	Marsh Blazing Star	Plugs or seeding
Lobelia cardinalis	Cardinal Flower	Plugs or seeding
Monarda fistulosa	Wild Bergamot	Plugs or seeding
Penstemon digitalis	Foxglove Beard Tongue	Plugs or seeding
Pontederia cordata	Pickeral Weed	Plugs or seeding
Rudbeckia hirta	Black-Eyed Susan	Plugs or seeding
Rudbeckia subtomentosa	Sweet Black-Eyed Susan	Plugs or seeding
Scirpus pendulus	Red Bulrush	Plugs or seeding
Silphium laciniatum	Compass Plant	Plugs or seeding
Silphium terebinthinaceum	Prairie Dock	Plugs or seeding
Solidago riddellii	Riddell's Goldenrod	Plugs or seeding
Solidago rigida	Stiff Goldenrod	Plugs or seeding
Spartina pectinata	Prairie Cord Grass	Plugs or seeding
Sporobolus heterolepis	Prairie Dropseed	Plugs or seeding
Verbena hastata	Blue Vervain	Plugs or seeding

PLANTING PALETTE: RETAIL/COMMERCIAL INTERIOR ROADS

A. Overstory Trees		
Botanical Name	Common Name	Size
Acer saccharum	Sugar Maple	2-1/2" caliper
Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	2-1/2" caliper
Celtis occidentalis	Hackberry	2-1/2" caliper
Gleditsia tricanthos inermis	Thornless Honeylocust	2-1/2" caliper
Gymnocladus dioicus	Kentucky Coffeetree	2-1/2" caliper
Platanus occidentalis	American Planetree	2-1/2" caliper
Quercus bicolor	Swamp White Oak	2-1/2" caliper
Quercus ellipsoidalis	Northern Pin Oak	2-1/2" caliper
Quercus macrocarpa	Bur Oak	2-1/2" caliper
Quercus rubra	Red Oak	2-1/2" caliper
Taxodium distichum	Common Baldcypress	2-1/2" caliper
Tilia americana	American Linden	2-1/2" caliper
Ulmus x 'Morton Glossy'	Triumph Elm	2-1/2" caliper
Ulmus x 'Prospector'	Prospector Elm	2-1/2" caliper

B. Understory Trees		
Botanical Name	Common Name	Size
Amelanchier canadensis	Serviceberry	6' ht.
Cercis canadensis	Redbud	6' ht.
Cornus mas	Corneliancherry Dogwood	6' ht.
Crataegus spp.	Hawthorn varieties	6' ht.
Malus spp.	Crabapple Varieties	6' ht.
Viburnum prunifolium	Blackhaw Viburnum	6' ht.

C. Shrubs		
Botanical Name	Common Name	Size
Aronia prunifolia	Chokeberry	24" ht.
Cornus sericea	Redosier Dogwood	24" ht.
Forsythia spp.	Forsythia Varieties	24" ht.
Hamamelis virginiana	Witchhazel	24" ht.
Hydrangea spp.	Hydrangea Varieties	18" ht.
Ilex verticillata	Winterberry	18" ht.
Juniperus spp.	Juniper Varieties	24" ht.
Physocarpus opulifolius	Ninebark	24" ht.
Rhus aromatica 'gro-low'	Gro-Low Sumac	18" ht.
Rosa spp.	Rose Varieties	18" ht.
Spiraea spp.	Spiraea Varieties	18" ht.
Syringa meyeri 'Palibin'	Dwarf Korean Lilac	24" ht.
Syringa vulgaris	Common Lilac	24" ht.
Taxus densiformis	Dense Yew	18" ht.
Viburnum dentatum	Arrowwood Viburnum	24" ht.

D. Perennials, Grasses, and Forbs		
Botanical Name	Common Name	Size
Andropogon scoparius	Little Bluestem Gras	Plugs or seeding
Asclepias syriaca	Common Milkweed	Plugs or seeding
Aster azureus	Sky-Blue Aster	Plugs or seeding
Aster laevis	Smooth Blue Aster	Plugs or seeding
Baptisia leucantha	White Wild Indigo	Plugs or seeding
Bouteloua curtipendula	Side Oats Grama	Plugs or seeding
Heliopsis helianthoides	False Sunflower	Plugs or seeding
Liatis pycnostachya	Prairie Blazing Star	Plugs or seeding
Monarda fistulosa	Wild Bergamot	Plugs or seeding
Penstemon digitalis	Foxglove Beard Tongue	Plugs or seeding
Rudbeckia hirta	Black-Eyed Susan	Plugs or seeding
Rudbeckia subtomentosa	Sweet Black-Eyed Susan	Plugs or seeding
Silphium terebinthinaceum	Prairie Dock	Plugs or seeding
Solidago rigida	Stiff Goldenrod	Plugs or seeding
Asclepias tuberosa	Butterfly Milkweed	Plugs or seeding
Cassia fasciculata	Partridge Pea	Plugs or seeding
Coreopsis palmata	Prairie Coreopsis	Plugs or seeding
Helianthus occidentalis	Western Sunflower	Plugs or seeding
Silphium laciniatum	Compass Plant	Plugs or seeding
Sporobolus heterolepis	Prairie Dropseed	Plugs or seeding



PLANTING PALETTE: PERIMETER ROADWAY

A. Overstory Trees

Botanical Name	Common Name	Size
<i>Acer nigrum</i>	Black Maple	2-1/2" calip
<i>Acer saccharum</i>	Sugar Maple	2-1/2" calip
<i>Acer x reemania 'Autumn Blaze'</i>	Autumn Blaze Maple	2-1/2" calip
<i>Alnus glutinosa</i>	Alder	10' ht.
<i>Betula nigra</i>	River Birch	10' ht.
<i>Carya ovata</i>	Shagbark Hickory	2-1/2" calip
<i>Celtis occidentalis</i>	Hackberry	2-1/2" calip
<i>Gleditsia tricanthos inermis</i>	Thornless Honeylocust	2-1/2" calip
<i>Gymnocladus dioicus</i>	Kentucky Coffeetree	2-1/2" calip
<i>Nyssa sylvatica</i>	Tupelo	2-1/2" calip
<i>Platanus occidentalis</i>	American Planetree	2-1/2" calip
<i>Populus tremuloides</i>	Quaking Aspen	2-1/2" calip
<i>Quercus alba</i>	White Oak	2-1/2" calip
<i>Quercus bicolor</i>	Swamp White Oak	2-1/2" calip
<i>Quercus ellipsoides</i>	Northern Pin Oak	2-1/2" calip
<i>Quercus macrocarpa</i>	Bur Oak	2-1/2" calip
<i>Quercus muehlenbergi</i>	Chinkapin Oak	2-1/2" calip
<i>Quercus rubra</i>	Red Oak	2-1/2" calip
<i>Taxodium distichum</i>	Common Baldcypress	2-1/2" calip
<i>Tilia americana</i>	American Linden	2-1/2" calip
<i>Ulmus x 'Morton Glossy'</i>	Triumph Elm	2-1/2" calip
<i>Ulmus x 'Prospector'</i>	Prospector Elm	2-1/2" calip

B. Understory Trees

Botanical Name	Common Name	Size
<i>Amelanchier canadensis</i>	Serviceberry	6' ht.
<i>Cercis canadensis</i>	Redbud	6' ht.
<i>Cornus mas</i>	Corneliancherry Dogwood	6' ht.
<i>Crataegus spp.</i>	Hawthorn varieties	6' ht.
<i>Malus spp.</i>	Crabbapple Varieties	6' ht.
<i>Viburnum prunifolium</i>	Blackhaw Viburnum	6' ht.

C. Shrubs

Botanical Name	Common Name	Size
<i>Aronia prunifolia</i>	Chokeberry	24"
<i>Cornus sericea</i>	Redosier Dogwood	24"
<i>Forsythia spp.</i>	Forsythia Varieties	24"
<i>Hamamelis virginiana</i>	Witchhazel	24"
<i>Hydrangea spp.</i>	Hydrangea Varieties	18"
<i>Ilex verticillata</i>	Winterberry Varieties	18"
<i>Juniperus spp.</i>	Juniper Varieties	24"
<i>Physocarpus opulifolius</i>	Ninebark	24"
<i>Rhus aromatica 'gro-low'</i>	Gro-Low Sumac	18"
<i>Rosa spp.</i>	Rose varieties	18"
<i>Spiraea spp.</i>	Spiraea Varieties	18"
<i>Syringa meyeri 'Palibin'</i>	Dwarf Korean Lilac	24"
<i>Syringa vulgaris</i>	Common Lilac	24"
<i>Taxus densiformis</i>	Dense Yew	18"
<i>Viburnum dentatum</i>	Arrowwood Viburnum	18"

D. Perennials, Grasses, and Forbs

Botanical Name	Common Name	Size
<i>Andropogon scoparius</i>	Little Bluestem Grass	Plugs or seeding
<i>Asclepias syriaca</i>	Common Milkweed	Plugs or seeding
<i>Aster azureus</i>	Sky-Blue Aster	Plugs or seeding
<i>Aster laevis</i>	Smooth Blue Aster	Plugs or seeding
<i>Baptisia leucantha</i>	White Wild Indigo	Plugs or seeding
<i>Bouteloua curtipendula</i>	Side Oats Grama	Plugs or seeding
<i>Heliopsis helianthoides</i>	False Sunflower	Plugs or seeding
<i>Liatris pycnostachya</i>	Prairie Blazing Star	Plugs or seeding
<i>Monarda fistulosa</i>	Wild Bergamot	Plugs or seeding
<i>Penstemon digitalis</i>	Foxglove Beard Tongue	Plugs or seeding
<i>Rudbeckia hirta</i>	Black-Eyed Susan	Plugs or seeding
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan	Plugs or seeding
<i>Silphium terebinthinaceum</i>	Prairie Dock	Plugs or seeding
<i>Solidago rigida</i>	Stiff Goldenrod	Plugs or seeding
<i>Asclepias tuberosa</i>	Butterfly Milkweed	Plugs or seeding
<i>Cassia fasciculata</i>	Partridge Pea	Plugs or seeding
<i>Coreopsis palmata</i>	Prairie Coreopsis	Plugs or seeding
<i>Helianthus occidentalis</i>	Western Sunflower	Plugs or seeding
<i>Silphium laciniatum</i>	Compass Plant	Plugs or seeding
<i>Sporobolus heterolepis</i>	Prairie Dropseed	Plugs or seeding



PLANTING PALETTE: O/R/I INTERIOR ROADS

A. Overstory Trees

Botanical Name	Common Name	Size
Acer saccharum	Sugar Maple	2-1/2" caliper
Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	2-1/2" caliper
Celtis occidentalis	Hackberry	2-1/2" caliper
Gleditsia triacanthos inermis	Thornless Honeylocust	2-1/2" caliper
Gymnocladus dioicus	Kentucky Coffeetree	2-1/2" caliper
Platanus occidentalis	American Planetree	2-1/2" caliper
Quercus bicolor	Swamp White Oak	2-1/2" caliper
Quercus ellipsoidalis	Northern Pin Oak	2-1/2" caliper
Quercus macrocarpa	Bur Oak	2-1/2" caliper
Quercus rubra	Red Oak	2-1/2" caliper
Taxodium distichum	Common Baldcypress	2-1/2" caliper
Tilia americana	American Linden	2-1/2" caliper
Ulmus x 'Morton Glossy'	Triumph Elm	2-1/2" caliper
Ulmus x 'Prospector'	Prospector Elm	2-1/2" caliper

B. Understory Trees

Botanical Name	Common Name	Size
Amelanchier canadensis	Serviceberry	6' ht.
Cercis canadensis	Redbud	6' ht.
Cornus mas	Corneliancherry Dogwood	6' ht.
Crataegus spp.	Hawthorn varieties	6' ht.
Malus spp.	Crabbapple Varieties	6' ht.
Viburnum prunifolium	Blackhaw Viburnum	6' ht.

C. Shrubs

Botanical Name	Common Name	Size
Aronia prunifolia	Chokeberry	24"
Cornus sericea	Redosier Dogwood	24"
Forsythia spp.	Forsythia Varieties	24"
Hamamelis virginiana	Witchhazel	24"
Hydrangea spp.	Hydrangea Varieties	18"
Ilex verticillata	Winterberry Varieties	18"
Juniperus spp.	Juniper Varieties	24"
Physocarpus opulifolius	Ninebark	24"
Rhus aromatica 'gro-low'	Gro-Low Sumac	18"
Rosa spp.	Rose varieties	18"
Spiraea spp.	Spiraea Varieties	18"
Syringa meyeri 'Palibin'	Dwarf Korean Lilac	24"
Syringa vulgaris	Common Lilac	24"
Taxus densiformis	Dense Yew	18"
Viburnum dentatum	Arrowwood Viburnum	18"

D. Perennials, Grasses, and Forbs

Botanical Name	Common Name	Size
Andropogon scoparius	Little Bluestem Grass	Plugs or seeding
Asclepias syriaca	Common Milkweed	Plugs or seeding
Aster azureus	Sky-Blue Aster	Plugs or seeding
Aster laevis	Smooth Blue Aster	Plugs or seeding
Baptisia leucantha	White Wild Indigo	Plugs or seeding
Bouteloua curtipendula	Side Oats Grama	Plugs or seeding
Heliopsis helianthoides	False Sunflower	Plugs or seeding
Liatris pycnostachya	Prairie Blazing Star	Plugs or seeding
Monarda fistulosa	Wild Bergamot	Plugs or seeding
Penstemon digitalis	Foxglove Beard Tongue	Plugs or seeding
Rudbeckia hirta	Black-Eyed Susan	Plugs or seeding
Rudbeckia subtomentosa	Sweet Black-Eyed Susan	Plugs or seeding
Silphium terebinthinaceum	Prairie Dock	Plugs or seeding
Solidago rigida	Stiff Goldenrod	Plugs or seeding
Asclepias tuberosa	Butterfly Milkweed	Plugs or seeding
Cassia fasciculata	Partridge Pea	Plugs or seeding
Coreopsis palmata	Prairie Coreopsis	Plugs or seeding
Helianthus occidentalis	Western Sunflower	Plugs or seeding
Silphium laciniatum	Compass Plant	Plugs or seeding
Sporobolus heterolepis	Prairie Dropseed	Plugs or seeding

PLANTING PALETTE: RESIDENTIAL INTERIOR ROADS

A. Overstory Trees

Botanical Name	Common Name	Size
Acer x freemanii 'Autumn Blaze'	Freemanii Maple	2-1/2" caliper
Acer miyabe 'State Street'	State Street Maple	2-1/2" caliper
Acer saccharum	Legacy Sugar Maple	2-1/2" caliper
Celtis occidentalis	Hackberry	2-1/2" caliper
Ginkgo biloba	Ginkgo (Male)	2-1/2" caliper
Gymnocladus dioica	Kentucky Coffee Tree	2-1/2" caliper
Gleditsia triacanthos inermis	Thornless Honeylocust	2-1/2" caliper
Quercus bicolor	Swamp White Oak	2-1/2" caliper
Quercus rubra	Red Oak	2-1/2" caliper
Taxodium distichum	Bald Cypress	2-1/2" caliper
Tilia americana	American Linden	2-1/2" caliper
Tilia americana 'Redmond'	Redmond Linden	2-1/2" caliper
Ulmus x 'Morton Glossy'	Triumph Elm	2-1/2" caliper
Ulmus x 'Prospector'	Prospector Elm	2-1/2" caliper

B. Understory Trees

Botanical Name	Common Name	Size
Amelanchier canadensis	Shadblow Serviceberry	6' ht.
Cercis canadensis	Red bud	6' ht.
Crataegus spp.	Hawthorn Varieties	6' ht.
Cornus mas	Cornelian Cherry Dogwood	6' ht.
Malus spp.	Crabapple Varieties	6' ht.
Syringa reticulata 'Ivory Silk'	Japanese Tree Lilac	6' ht.
Viburnum prunifolium	Blackhaw Viburnum	6' ht.



PLANTING PALETTE: OFFICE/R&D/INDUSTRIAL

A. Overstory Trees

Botanical Name	Common Name	Size
<i>Acer x freemanii</i> 'Autumn Blaze'	Autumn Blaze Maple	2-1/2" caliper
<i>Acer miyabe</i> 'State Street'	State Street Maple	2-1/2" caliper
<i>Acer saccharum</i>	Legacy Sugar Maple	2-1/2" caliper
<i>Alnus glutinosa</i>	European Black Alder	10' ht.
<i>Betula populifolia</i> 'Whitespire Sr.'	Whitespire Sr. Gray Birch	10' ht.
<i>Celtis occidentalis</i>	Hackberry	2-1/2" caliper
<i>Ginkgo biloba</i>	Ginkgo (Male)	2-1/2" caliper
<i>Gymnocladus dioica</i>	Kentucky Coffee Tree	2-1/2" caliper
<i>Gleditsia triacanthos inermis</i>	Thornless Honeylocust	2-1/2" caliper
<i>Populus tremuloides</i>	Quaking Aspen	2-1/2" caliper
<i>Pyrus calleryana</i> 'Chanticleer'	Chanticleer Pear	2-1/2" caliper
<i>Pyrus calleryana</i> 'Aristocrat'	Aristocrat Pear	2-1/2" caliper
<i>Quercus bicolor</i>	Swamp White Oak	2-1/2" caliper
<i>Quercus ellipsoidalis</i>	Northern Pin Oak	2-1/2" caliper
<i>Quercus rubra</i>	Red Oak	2-1/2" caliper
<i>Quercus robur</i>	English Oak	2-1/2" caliper
<i>Taxodium distichum</i>	Bald Cypress	2-1/2" caliper
<i>Tilia americana</i>	American Linden	2-1/2" caliper
<i>Tilia americana</i> 'Redmond'	Redmond Linden	2-1/2" caliper
<i>Ulmus x 'Morton Glossy'</i>	Triumph Elm	2-1/2" caliper
<i>Ulmus 'Prospector'</i>	Prospector Elm	2-1/2" caliper

B. Understory Trees

Botanical Name	Common Name	Size
<i>Amelanchier canadensis</i>	Shadblow Serviceberry	6' ht.
<i>Amelanchier x grandiflora</i>	Apple Serviceberry	6' ht.
<i>Acer palmatum</i> 'Bloodgood'	Japanese Bloodgood Maple	6' ht.
<i>Carpinus caroliniana</i>	American Hornbeam	6' ht.
<i>Cercis canadensis</i>	Red bud	6' ht.
<i>Crataegus crusgalli</i> 'Inermis'	Thornless Cockspur Hawthorn	6' ht.
<i>Cornus mas</i>	Cornelian Cherry Dogwood	6' ht.
<i>Cornus alternifolia</i>	Pagoda Dogwood	6' ht.
<i>Magnolia x loebnerii</i> 'Merill'	Dr. Merrill Magnolia	6' ht.
<i>Magnolia stellata</i>	Star Magnolia	6' ht.
<i>Malus floribunda</i>	Japanese Crabapple	6' ht.
<i>Malus 'Donald Wyman'</i>	Donald Wyman Crabapple	6' ht.
<i>Malus 'Red Jewel'</i>	Red Jewel Crabapple	6' ht.
<i>Malus 'Schmidt Cutleaf'</i>	Schmidt Cutleaf Crabapple	6' ht.
<i>Malus sargentii</i>	Sargent Crabapple	6' ht.
<i>Syringa reticulata</i> 'Ivory Silk'	Japanese Tree Lilac	6' ht.
<i>Viburnum prunifolium</i>	Blackhaw Viburnum	6' ht.

C. Evergreen Trees

Botanical Name	Common Name	Size
<i>Abies concolor</i>	White Fir	6' ht.
<i>Picea abies</i>	Norway Spruce	6' ht.
<i>Picea glauca</i> 'Densata'	Black Hills Spruce	6' ht.
<i>Pseudotsuga menziesii</i>	Douglas Fir	6' ht.
<i>Pinus nigra</i>	Austrian Pine	6' ht.
<i>Picea pungens</i>	Green Colorado Spruce	6' ht.
<i>Picea pungens</i> 'Glauca'	Colorado Blue Spruce	6' ht.
<i>Pinus sylvestris</i>	Scotch Pine	6' ht.
<i>Pinus strobus</i>	Eastern White Pine	6' ht.
<i>Tsuga canadensis</i>	Hemlock	6' ht.

D. Deciduous Shrubs

Botanical Name	Common Name	Size
<i>Aronia melanocarpa</i>	Glossy Black Chokeberry	24"
<i>Cornus alba</i> 'Bailhalo'	Ivory Halo Dogwood	18"
<i>Cotoneaster apiculatus</i>	Cranberry Cotoneaster	18"
<i>Cotoneaster x Heseii</i>	Heseii Cotoneaster	18"
<i>Cotoneaster lucidus</i>	Hedge Cotoneaster	24"
<i>Corylus americana</i>	American Hazelnut	24"
<i>Cornus sericea</i> 'Isanti'	Isanti Dogwood	24"
<i>Euonymus alata</i> 'Compactus'	Dwarf Winged Euonymus	24"
<i>Fothergilla gardenii</i>	Dwarf Fothergilla	18"
<i>Forsythia x 'Sunrise'</i>	Sunrise Forsythia	24"
<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Smooth Hydrangea	18"
<i>Hydrangea paniculata</i> 'Tardiva'	Tardiva Hydrangea	24"
<i>Hydrangea paniculata</i> 'Grandiflora'	Pee Gee Hydrangea	24"
<i>Hydrangea paniculata</i> 'Unique'	Unique Hydrangea	24"
<i>Hydrangea quercifolia</i> 'Alice'	Alice Oakleaf Hydrangea	24"
<i>Hamamelis vernalis</i>	Vernal Witch Hazel	24"
<i>Ilex verticillata</i> 'Red Sprite'	Winterberry	18"
<i>Myrica pennsylvanica</i>	Bayberry	24"
<i>Physocarpus 'Summer Wine'</i>	Summer Wine Ninebark	18"
<i>Potentilla fruticosa</i> 'McKay's White'	McKay's White Potentilla	18"
<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Sumac	18"
<i>Ribes alpinum</i> 'Green Mound'	Green Mound Currant	18"
<i>Rosa spp.</i>	Rose Varieties	18"
<i>Spiraea spp.</i>	Spiraea Varieties	18"
<i>Syringa meyeri</i> 'Palibin'	Dwarf Korean Lilac	24"
<i>Syringa patula</i> 'Miss Kim'	Miss Kim Lilac	24"
<i>Viburnum carlesii</i>	Koreanspice Viburnum	24"
<i>Viburnum dentatum</i>	Arrowwood Viburnum	24"
<i>Viburnum x judii</i>	Judd Viburnum	24"
<i>Viburnum lantana</i> 'Mohican'	Mohican Viburnum	24"
<i>Weigela florida</i> 'Wine and Roses'	Wine and Roses Weigela	18"

E. Evergreen Shrubs

Botanical Name	Common Name	Size
<i>Buxus 'Green Velvet'</i>	Green Velvet Boxwood	18"
<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	24"
<i>Juniperus chinensis</i> 'Kallays Compacta'	Kallays Compact Juniper	24"
<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper	24"
<i>Juniperus sabina</i> 'Buffalo'	Buffalo Juniper	24"
<i>Pinus mugo mugo</i>	Dwarf Mugo Pine	24"
<i>Thuja occidentalis</i> 'Emerald Green'	Emerald Green Arborvitae	24"
<i>Thuja occidentalis</i> 'Techny'	Techny Arborvitae	36"
<i>Taxus media</i> 'Hicks'	Hicks Yew	18"
<i>Taxus x media</i> 'Runyan'	Runyan Dense Yew	18"

F. Perennials and Ornamental Grasses

Botanical Name	Common Name	Size
<i>Astilbe spp.</i>	Astilbe Varieties	1 gallon
<i>Anemone japonica</i>	Japanese Anemone	1 gallon
<i>Alchemilla mollis</i>	Lady's Mantle	1 gallon
<i>Achillea spp.</i>	Yarrow Varieties	1 gallon
<i>Aster novae-angliae</i>	Purple Dome New England Aster	1 gallon
<i>Artemisia schmidtiana</i> 'Silver Mound'	Silver Mound	1 gallon
<i>Calamagrostis acutifolia</i>	Feather Reed Grass	1 gallon
<i>Cimicifuga ramosa</i> 'Hillside Black Beauty'	Bugbane	1 gallon
<i>Coreopsis spp.</i>	Coreopsis Varieties	1 gallon
<i>Dianthus spp.</i>	Dianthus Varieties	1 gallon
<i>Dicentra spp.</i>	Bleeding Heart Varieties	1 gallon
<i>Echinacea spp.</i>	Coneflower Varieties	1 gallon
<i>Festuca 'Elijah Blue'</i>	Elijah Blue Fescue	1 gallon
<i>Geranium spp.</i>	Bloody Cranesbill Varieties	1 gallon
<i>Hemerocallis spp.</i>	Daylily Varieties	1 gallon
<i>Helictotrichon sempervirens</i>	Blue Oat Grass	1 gallon
<i>Heuchera spp.</i>	Coral Bell Varieties	1 gallon
<i>Hosta spp.</i>	Hosta Varieties	1 gallon
<i>Lavandula angustifolia</i> 'Munstead'	Munstead Lavender	1 gallon
<i>Ligularia 'The Rocket'</i>	Rocket Ligularia	1 gallon
<i>Liatris spp.</i>	Gayfeather Varieties	1 gallon
<i>Miscanthus spp.</i>	Maiden Grass Varieties	1 gallon
<i>Nepeta spp.</i>	Catmint Varieties	1 gallon
<i>Panicum spp.</i>	Switchgrass Varieties	1 gallon
<i>Pennisetum spp.</i>	Fountain Grass Varieties	1 gallon
<i>Perovskia spp.</i>	Russian Sage Varieties	1 gallon
<i>Pulmonaria longifolia</i> 'High Contrast'	High Contrast Lungwort	1 gallon
<i>Rudbeckia fulgida</i> 'Goldstrum'	Black-eyed Susan	1 gallon
<i>Sedum 'Autumn Joy'</i>	Autumn Joy Sedum	1 gallon
<i>Sporobolus heterolepis</i>	Prairie Dropseed	1 gallon
<i>Salvia spp.</i>	Sage Varieties	1 gallon
<i>Veronica spp.</i>	Speedwell Varieties	1 gallon

G. Groundcovers

Botanical Name	Common Name	Size
<i>Euonymus fortunei</i> 'Coloratus'	Purpleleaf Wintercreeper	3" pot
<i>Hedera Helix</i>	English Ivy	3" pot
<i>Lamium maculatum</i>	Spotted dead nettle	3" pot
<i>Pachysandra terminalis</i>	Japanese Flowering Spurge	3" pot
<i>Vinca minor</i> 'Darts Blue'	Dart's Blue Periwinkle	3" pot

H. Vines

Botanical Name	Common Name	Size
<i>Clematis spp.</i>	Clematis Varieties	1 gallon
<i>Campsis radicans</i>	Trumpet Vine	1 gallon
<i>Hydrangea anomala petiolaris</i>	Climbing Hydrangea	1 gallon

I. Annuals and Bulbs

Botanical Name	Common Name	Size
(As desired)		Top size



PLANTING PALETTE: RETAIL/COMMERCIAL

A. Overstory Trees

Botanical Name	Common Name	Size
Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	2-1/2" caliper
Acer miyabe 'State Street'	State Street Maple	2-1/2" caliper
Acer saccharum	Legacy Sugar Maple	2-1/2" caliper
Alnus glutinosa	European Black Alder	10' ht.
Betula populifolia 'Whitespire Sr.'	Whitespire Sr. Gray Birch	10' ht.
Celtis occidentalis	Hackberry	2-1/2" caliper
Ginkgo biloba	Ginkgo (Male)	2-1/2" caliper
Gymnocladus dioica	Kentucky Coffee Tree	2-1/2" caliper
Gleditsia triacanthos inermis	Thornless Honeylocust	2-1/2" caliper
Populus tremuloides	Quaking Aspen	2-1/2" caliper
Pyrus calleryana 'Chanticleer'	Chanticleer Pear	2-1/2" caliper
Pyrus calleryana 'Aristocrat'	Aristocrat Pear	2-1/2" caliper
Quercus bicolor	Swamp White Oak	2-1/2" caliper
Quercus ellipsoidalis	Northern Pin Oak	2-1/2" caliper
Quercus rubra	Red Oak	2-1/2" caliper
Quercus robur	English Oak	2-1/2" caliper
Taxodium distichum	Bald Cypress	2-1/2" caliper
Tilia americana	American Linden	2-1/2" caliper
Tilia americana 'Redmond'	Redmond Linden	2-1/2" caliper
Ulmus x 'Morton Glossy'	Triumph Elm	2-1/2" caliper
Ulmus 'Prospector'	Prospector Elm	2-1/2" caliper

B. Understory Trees

Botanical Name	Common Name	Size
Amelanchier canadensis	Shadblow Serviceberry	6' ht.
Amelanchier x grandiflora	Apple Serviceberry	6' ht.
Acer palmatum 'Bloodgood'	Japanese Bloodgood Maple	6' ht.
Carpinus caroliniana	American Hornbeam	6' ht.
Cercis canadensis	Red bud	6' ht.
Crataegus crusgalli 'Inermis'	Thornless Cockspur Hawthorn	6' ht.
Cornus mas	Cornelian Cherry Dogwood	6' ht.
Cornus alternifolia	Pagoda Dogwood	6' ht.
Magnolia x loebnerii 'Merill'	Dr. Merrill Magnolia	6' ht.
Magnolia stellata	Star Magnolia	6' ht.
Malus floribunda	Japanese Crabapple	6' ht.
Malus 'Donald Wyman'	Donald Wyman Crabapple	6' ht.
Malus 'Red Jewel'	Red Jewel Crabapple	6' ht.
Malus 'Schmidt Cutleaf'	Schmidt Cutleaf Crabapple	6' ht.
Malus sargentii	Sargent Crabapple	6' ht.
Syringa reticulata 'Ivory Silk'	Japanese Tree Lilac	6' ht.
Viburnum prunifolium	Blackhaw Viburnum	6' ht.

C. Evergreen Trees

Botanical Name	Common Name	Size
Abies concolor	White Fir	6' ht.
Picea abies	Norway Spruce	6' ht.
Picea glauca 'Densata'	Black Hills Spruce	6' ht.
Pseudotsuga menziesii	Douglas Fir	6' ht.
Pinus nigra	Austrian Pine	6' ht.
Picea pungens	Green Colorado Spruce	6' ht.
Picea pungens 'Glauca'	Colorado Blue Spruce	6' ht.
Pinus sylvestris	Scotch Pine	6' ht.
Pinus strobus	Eastern White Pine	6' ht.
Tsuga canadensis	Hemlock	6' ht.

D. Deciduous Shrubs

Botanical Name	Common Name	Size
Aronia melanocarpa	Glossy Black Chokeberry	24"
Cornus alba 'Bailhako'	Ivory Halo Dogwood	18"
Cotoneaster apiculatus	Cranberry Cotoneaster	18"
Cotoneaster x Heseii	Heseii Cotoneaster	18"
Cotoneaster lucidus	Hedge Cotoneaster	24"
Corylus american	American Hazelnut	24"
Cornus sericea 'Isanti'	Isanti Dogwood	24"
Euonymus alata 'Compactus'	Dwarf Winged Euonymus	24"
Fothergilla gardenii	Dwarf Fothergilla	18"
Forsythia x 'Sunrise'	Sunrise Forsythia	24"
Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea	18"
Hydrangea paniculata 'Tardiva'	Tardiva Hydrangea	24"
Hydrangea paniculata 'Grandiflora'	Pee Gee Hydrangea	24"
Hydrangea paniculata 'Unique'	Unique Hydrangea	24"
Hydrangea quercifolia 'Alice'	Alice Oakleaf Hydrangea	24"
Hamamelis vernalis	Vernal Witch Hazel	24"
Ilex verticillata 'Red Sprite'	Winterberry	18"
Myrica pennsylvanica	Bayberry	24"
Physocarpus 'Summer Wine'	Summer Wine Ninebark	18"
Potentilla fruticosa 'McKay's White'	McKay's White Potentilla	18"
Rhus aromatica 'Gro-Low'	Gro-Low Sumac	18"
Ribes alpinum 'Green Mound'	Green Mound Currant	18"
Rosa spp.	Rose Varieties	18"
Spiraea spp.	Spiraea Varieties	18"
Syringa meyeri 'Palibin'	Dwarf Korean Lilac	24"
Syringa patula 'Miss Kim'	Miss Kim Lilac	24"
Viburnum carlesii	Koreanspice Viburnum	24"
Viburnum dentatum	Arrowwood Viburnum	24"
Viburnum x judii	Judd Viburnum	24"
Viburnum lantana 'Mohican'	Mohican Viburnum	24"
Weigela florida 'Wine and Roses'	Wine and Roses Weigela	18"

E. Evergreen Shrubs

Botanical Name	Common Name	Size
Buxus 'Green Velvet'	Green Velvet Boxwood	18"
Juniperus chinensis 'Sea Green'	Sea Green Juniper	24"
Juniperus chinensis 'Kallays Compacta'	Kallays Compact Juniper	24"
Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	24"
Juniperus sabina 'Buffalo'	Buffalo Juniper	24"
Pinus mugo mugo	Dwarf Mugo Pine	24"
Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	24"
Thuja occidentalis 'Tehny'	Tehny Arborvitae	36"
Taxus media 'Hicks'	Hicks Yew	18"
Taxus x media 'Runyan'	Runyan Dense Yew	18"

F. Perennials and Ornamental Grasses

Botanical Name	Common Name	Size
Astilbe spp.	Astilbe Varieties	1 gallon
Anemone japonica	Japanese Anemone	1 gallon
Alchemilla mollis	Lady's Mantle	1 gallon
Achillea spp.	Yarrow Varieties	1 gallon
Aster novae-angliae	Purple Dome New England Aster	1 gallon
Artemisia schmidtiana 'Silver Mound'	Silver Mound	1 gallon
Calamagrostis acutifolia	Feather Reed Grass	1 gallon
Cimicifuga ramosa 'Hillside Black Beauty'	Bugbane	1 gallon
Coreopsis spp.	Coreopsis Varieties	1 gallon
Dianthus spp.	Dianthus Varieties	1 gallon
Dicentra spp.	Bleeding Heart Varieties	1 gallon
Echinacea spp.	Coneflower Varieties	1 gallon
Festuca 'Elijah Blue'	Elijah Blue Fescue	1 gallon
Geranium spp.	Bloody Cranesbill Varieties	1 gallon
Hemerocallis spp.	Daylily Varieties	1 gallon
Helictotrichon sempervirens	Blue Oat Grass	1 gallon
Heuchera spp.	Coral Bell Varieties	1 gallon
Hosta spp.	Hosta Varieties	1 gallon
Lavendula angustifolia 'Munstead'	Munstead Lavender	1 gallon
Ligularia 'The Rocket'	Rocket Ligularia	1 gallon
Liatris spp.	Gayfeather Varieties	1 gallon
Miscanthus spp.	Maiden Grass Varieties	1 gallon
Nepeta spp.	Catmint Varieties	1 gallon
Panicum spp.	Switchgrass Varieties	1 gallon
Pennisetum spp.	Fountain Grass Varieties	1 gallon
Petovskia spp.	Russian Sage Varieties	1 gallon
Pulmonaria longifolia 'High Contrast'	High Contrast Lungwort	1 gallon
Rudbeckia fulgida 'Goldstrum'	Black-eyed Susan	1 gallon
Sedum 'Autumn Joy'	Autumn Joy Sedum	1 gallon
Sporobolus heterolepis	Prairie Dropseed	1 gallon
Salvia spp.	Sage Varieties	1 gallon
Veronica spp.	Speedwell Varieties	1 gallon

G. Groundcovers

Botanical Name	Common Name	Size
Euonymus fortunei 'Coloratus'	Purpleleaf Wintercreeper	3" pot
Hedera Helix	English Ivy	3" pot
Lamium maculatum	Spotted dead nettle	3" pot
Pachysandra terminalis	Japanese Flowering Spurge	3" pot
Vinca minor 'Darts Blue'	Dart's Blue Periwinkle	3" pot

H. Vines

Botanical Name	Common Name	Size
Clematis spp.	Clematis Varieties	1 gallon
Campsis radicans	Trumpet Vine	1 gallon
Hydrangea anomala petiolaris	Climbing Hydrangea	1 gallon

I. Annuals and Bulbs

Botanical Name	Common Name	Size
(As desired)		Top size



PLANTING PALETTE: RESIDENTIAL

A. Overstory Trees

Botanical Name	Common Name	Size
Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	2-1/2" caliper
Acer miyabe 'State Street'	State Street Maple	2-1/2" caliper
Acer saccharum	Legacy Sugar Maple	2-1/2" caliper
Alnus glutinosa	European Black Alder	10' ht.
Betula populifolia 'Whitespire Sr.'	Whitespire Sr. Gray Birch	10' ht.
Celtis occidentalis	Hackberry	2-1/2" caliper
Ginkgo biloba	Ginkgo (Male)	2-1/2" caliper
Gymnocladus dioica	Kentucky Coffee Tree	2-1/2" caliper
Gleditsia triacanthos inermis	Thornless Honeylocust	2-1/2" caliper
Populus tremuloides	Quaking Aspen	2-1/2" caliper
Pyrus calleryana 'Chanticleer'	Chanticleer Pear	2-1/2" caliper
Pyrus calleryana 'Aristocrat'	Aristocrat Pear	2-1/2" caliper
Quercus bicolor	Swamp White Oak	2-1/2" caliper
Quercus ellipsoidalis	Northern Pin Oak	2-1/2" caliper
Quercus rubra	Red Oak	2-1/2" caliper
Quercus robur	Hamamelis Oak	2-1/2" caliper
Taxodium distichum	Bald Cypress	2-1/2" caliper
Tilia americana	American Linden	2-1/2" caliper
Tilia americana 'Redmond'	Redmond Linden	2-1/2" caliper
Ulmus x 'Morton Glossy'	Triumph Elm	2-1/2" caliper
Ulmus 'Prospector'	Prospector Elm	2-1/2" caliper

B. Understory Trees

Botanical Name	Common Name	Size
Amelanchier canadensis	Shadblow Serviceberry	6' ht.
Amelanchier x grandiflora	Apple Serviceberry	6' ht.
Acer palmatum 'Bloodgood'	Japanese Bloodgood Maple	6' ht.
Carpinus caroliniana	American Hornbeam	6' ht.
Cercis canadensis	Red bud	6' ht.
Crataegus crusgalli 'Inermis'	Thornless Cockspur Hawthorn	6' ht.
Cornus mas	Cornelian Cherry Dogwood	6' ht.
Cornus alternifolia	Pagoda Dogwood	6' ht.
Magnolia x loebnerii 'Merill'	Dr. Merrill Magnolia	6' ht.
Magnolia stellata	Star Magnolia	6' ht.
Malus floribunda	Japanese Crabapple	6' ht.
Malus 'Donald Wyman'	Donald Wyman Crabapple	6' ht.
Malus 'Red Jewel'	Red Jewel Crabapple	6' ht.
Malus 'Schmidt Cutleaf'	Schmidt Cutleaf Crabapple	6' ht.
Malus sargentii	Sargent Crabapple	6' ht.
Syringa reticulata 'Ivory Silk'	Japanese Tree Lilac	6' ht.
Viburnum prunifolium	Blackhaw Viburnum	6' ht.

C. Evergreen Trees

Botanical Name	Common Name	Size
Abies concolor	White Fir	6' ht.
Picea abies	Norway Spruce	6' ht.
Picea glauca 'Densata'	Black Hills Spruce	6' ht.
Pseudotsuga menziesii	Douglas Fir	6' ht.
Pinus nigra	Austrian Pine	6' ht.
Picea pungens	Green Colorado Spruce	6' ht.
Picea pungens 'Glauc'	Colorado Blue Spruce	6' ht.
Pinus sylvestris	Scotch Pine	6' ht.
Pinus strobus	Eastern White Pine	6' ht.
Tsuga canadensis	Hemlock	6' ht.

D. Deciduous Shrubs

Botanical Name	Common Name	Size
Aronia melanocarpa	Glossy Black Chokeberry	24"
Cornus alba 'Bailhah'	Ivory Halo Dogwood	18"
Cotoneaster apiculatus	Cranberry Cotoneaster	18"
Cotoneaster x Heseii	Heseii Cotoneaster	18"
Cotoneaster lucidus	Hedge Cotoneaster	24"
Corylus american	American Hazelnut	24"
Cornus sericea 'Isanti'	Isanti Dogwood	24"
Euonymus alata 'Compactus'	Dwarf Winged Euonymus	24"
Fothergilla gardenii	Dwarf Fothergilla	18"
Forsythia x 'Sunrise'	Sunrise Forsythia	24"
Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea	18"
Hydrangea paniculata 'Tardiva'	Tardiva Hydrangea	24"
Hydrangea paniculata 'Grandiflora'	Pee Gee Hydrangea	24"
Hydrangea paniculata 'Unique'	Unique Hydrangea	24"
Hydrangea quercifolia 'Alice'	Alice Oakleaf Hydrangea	24"
Hamamelis vernalis	Vernal Witch Hazel	24"
Ilex verticillata 'Red Sprite'	Winterberry	18"
Myrica pennsylvanica	Bayberry	24"
Physocarpus 'Summer Wine'	Summer Wine Ninebark	18"
Potentilla fruticosa 'McKay's White'	McKay's White Potentilla	18"
Rhus aromatica 'Gro-Low'	Gro-Low Sumac	18"
Ribes alpinum 'Green Mound'	Green Mound Currant	18"
Rosa spp.	Rose Varieties	18"
Spiraea spp.	Spiraea Varieties	18"
Syringa meyeri 'Palibin'	Dwarf Korean Lilac	24"
Syringa patula 'Miss Kim'	Miss Kim Lilac	24"
Viburnum carlesii	Koreanspice Viburnum	24"
Viburnum dentatum	Arrowwood Viburnum	24"
Viburnum x judii	Judd Viburnum	24"
Viburnum lantana 'Mohican'	Mohican Viburnum	24"
Weigela florida 'Wine and Roses'	Wine and Roses Weigela	18"

E. Evergreen Shrubs

Botanical Name	Common Name	Size
Buxus 'Green Velvet'	Green Velvet Boxwood	18"
Juniperus chinensis 'Sea Green'	Sea Green Juniper	24"
Juniperus chinensis 'Kallays Compacta'	Kallays Compact Juniper	24"
Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	24"
Juniperus sabina 'Buffalo'	Buffalo Juniper	24"
Pinus mugo mugo	Dwarf Mugo Pine	24"
Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	24"
Thuja occidentalis 'Tehny'	Tehny Arborvitae	36"
Taxus media 'Hicks'	Hicks Yew	18"
Taxus x media 'Runyan'	Runyan Dense Yew	18"

F. Perennials and Ornamental Grasses

Botanical Name	Common Name	Size
Astilbe spp.	Astilbe Varieties	1 gallon
Anemone japonica	Japanese Anemone	1 gallon
Alchemilla mollis	Lady's Mantle	1 gallon
Achillea spp.	Yarrow Varieties	1 gallon
Aster novae-angliae	Purple Dome New England Aster	1 gallon
Artemisia schmidtiana 'Silver Mound'	Silver Mound	1 gallon
Calamagrostis acutifolia	Feather Reed Grass	1 gallon
Cimicifuga ramosa 'Hillside Black Beauty'	Bugbane	1 gallon
Coreopsis spp.	Coreopsis Varieties	1 gallon
Dianthus spp.	Dianthus Varieties	1 gallon
Dicentra spp.	Bleeding Heart Varieties	1 gallon
Echinacea spp.	Coneflower Varieties	1 gallon
Festuca 'Elijah Blue'	Elijah Blue Fescue	1 gallon
Geranium spp.	Bloody Cranesbill Varieties	1 gallon
Hemerocallis spp.	Daylily Varieties	1 gallon
Helictotrichon sempervirens	Blue Oat Grass	1 gallon
Heuchera spp.	Coral Bell Varieties	1 gallon
Hosta spp.	Hosta Varieties	1 gallon
Lavendula angustifolia 'Munstead'	Munstead Lavender	1 gallon
Ligularia 'The Rocket'	Rocket Ligularia	1 gallon
Liatris spp.	Gayfeather Varieties	1 gallon
Miscanthus spp.	Maiden Grass Varieties	1 gallon
Nepeta spp.	Catmint Varieties	1 gallon
Panicum spp.	Switchgrass Varieties	1 gallon
Pennisetum spp.	Fountain Grass Varieties	1 gallon
Petovskia spp.	Russian Sage Varieties	1 gallon
Pulmonaria longifolia 'High Contrast'	High Contrast Lungwort	1 gallon
Rudbeckia fulgida 'Goldstrum'	Black-eyed Susan	1 gallon
Sedum 'Autumn Joy'	Autumn Joy Sedum	1 gallon
Sporobolus heterolepis	Prairie Dropseed	1 gallon
Salvia spp.	Sage Varieties	1 gallon
Veronica spp.	Speedwell Varieties	1 gallon

G. Groundcovers

Botanical Name	Common Name	Size
Euonymus fortunei 'Coloratus'	Purpleleaf Wintercreeper	3" pot
Hedera Helix	English Ivy	3" pot
Lamium maculatum	Spotted dead nettle	3" pot
Pachysandra terminalis	Japanese Flowering Spurge	3" pot
Vinca minor 'Darts Blue'	Dart's Blue Periwinkle	3" pot

H. Vines

Botanical Name	Common Name	Size
Clematis spp.	Clematis Varieties	1 gallon
Campsis radicans	Trumpet Vine	1 gallon
Hydrangea anomala petiolaris	Climbing Hydrangea	1 gallon

I. Annuals and Bulbs

Botanical Name	Common Name	Size
(As desired)		Top size