

**LAKE COUNTY ZONING NOTICE
CUP-000918-2023**

Vernon Township

The Lake County Zoning Board of Appeals has scheduled a public hearing at 1:00 PM on November 14, 2023, at the Vernon Township Community Services Building, 2900 N. Main St. Buffalo Grove, IL on the petition of TLMV 24831 MILWAUKEE LLC, record owner, requesting a Conditional Use Permit to allow for a contractor's equipment sales or storage (outdoor), landscape contractor's storage yard, and truck/trailer parking.

Please note that quantitative values may be subject to minor alterations due to surveyed conditions. The subject property is located at 24803 & 24831 N MILWAUKEE AVE VERNON HILLS, IL and is approximately 4 acres.

PINs: 1510101007 & 1510101008

Riccardo A. DiMonte and Anastas Shkurti of Robbins DiMonte, Ltd., 216 West Higgins Road, Park Ridge, IL are acting as representatives on behalf of the applicant and applicant and principal TLMV 24831 MILWAUKEE LLC, which is located at 1900 Wright Blvd, Schaumburg, IL.

This application is available for public examination online at <https://www.lakecountyil.gov/calendar.aspx?EID=11226> or at the office of the Lake County Zoning Board of Appeals, 500 W. Winchester Rd, Libertyville, Illinois, attn: Thomas Chefalo, Project Manager 847-377-2120.

**Gregory Koeppen
Chair**

LAKE COUNTY ZONING BOARD OF APPEALS
CONDITIONAL USE PERMIT APPLICATION

Applicant / Owner: TLMV 24831 Milwaukee, LLC, an Illinois limited liability company

Subject	Present Zoning:	GENERAL COMMERCIAL (GC)
Property:	Present Use:	CONTRACTOR'S EQUIPMENT SALES AND STORAGE (OUTDOORS)
	Proposed Use:	LANDSCAPE CONTRACTOR'S YARD WITH TRUCK PARKING
	PIN(s):	15-10-101-007 & 15-10-101-008
	Address:	24803 - 24831 N. Milwaukee Ave., Vernon Hills, IL 60061
	Legal description:	SEE ATTACHED LEGAL DESCRIPTION

Request: I/we request a conditional use permit be approved to allow:

A Contractor's equipment sales and outdoors storage, with landscape contractor's storage yard, and with truck and trailer parking. The Subject Property is located in the general commercial (GC) district. These uses are conditional uses in the GC district under use category of "industrial sales and service".

- 1. Contractor's equipment sales or storage (outdoors), and**
- 2. Landscape contractor's storage yard, and**
- 3. Truck/trailer parking.**

Explain why this conditional use permit is justified:

The conditional use permit is justified because the proposed uses will enhance the value of the subject property and the site will be compliant with the Lake County's General Commercial (GC) zoning district and will be meeting all requirements of the Unified Development Ordinance (UDO) and Site Capacity Review. The applicant proposes to use the site primarily as parking for trucks and landscape contractor's yard. The proposed uses will be consistent with the stated purpose and intent of the UDO §151.005 "Purpose and Intent" as further explained below. Moreover, the proposed uses comply with the applicable standards of §151.111. Further, the proposed uses will not have a substantial adverse impact on adjacent properties, the character of the neighborhood, natural resources, infrastructure, public site, or the public health, safety, or general welfare. The proposed uses will function in a way that it maintains the characteristics of the adjacent properties and neighborhood. Also, the proposed uses will generate minimal noise which will be limited only to typical

business hours. Finally, the on-site caretaker's residence is a permitted use in the GC zoning district pursuant to §151.111 Use Table, "Caretakers dwelling unit (accessory use)" under the "household living" use category. Having a caretaker tenant living on the subject property will allow better monitoring of the proposed use in the long-term.

Approval Criteria: The Lake County Zoning Board of Appeals is required to make findings of fact on your request. You should "make your case" by specifically explaining how your proposed request relates to each of the following criteria:

- A. the use in its proposed location will be consistent with the stated purpose and intent of the Lake County Code ("Purpose and Intent", section 151.005);

The proposed uses are consistent with the stated UPO §151.005 for the following reasons:

The proposed uses are consistent with §151.005(K) because they anticipate and manage growth and revenue within this unincorporated area of Lake County. The subject property is in an area where there are adequate sewage and water facilities, roads, and schools. The uses will concentrate development in such developed area and the uses will not interfere in areas where these facilities are not adequate.

The proposed uses are also consistent with §151.005(L) because they protects the tax base by managing growth within unincorporated Lake County. The proposed uses will generate tax revenue for Lake County. The proposed uses will function in a way that they maintains the characteristics of the adjacent properties and neighborhood. The existing caretaker's residence on site provides additional measures of safety and assurance. Future tenants will provide oversight and report unusual activities on the site.

The proposed uses are also consistent with §151.005(M) because they promote land use patterns that increase efficiency in service provision and prudent use of fiscal resources and local government expenditures. The subject property has directly frontage to Milwaukee Ave. As a result, the proposed uses involve simple ingress/egress access for material pickup and drop-off and vehicle parking.

The proposed uses are also consistent with the UDO in general, because the UDO already provides as Permitted uses in the GC district "lumber and building material sales" and "parking, commercial".

- B. the proposed use in its proposed location complies with all applicable standards of the Lake County Code, including any applicable of section 151.111; and

The proposed site and uses will comply with the applicable standards of the UDO and will be compliant of the GC zoning district, the UDO Site Capacity requirements, and stormwater requirements. The UDO already provides that each of the three uses: (i) "Contractor's equipment sales or storage (outdoors)," (ii) "Landscape contractor's storage

yard”; and (iii) “Truck/trailer parking” are listed as conditional uses under the “industrial sales and service” use category.

With respect to “Contractor’s equipment sales or storage (outdoors),” the proposed use will satisfy the terms of UDO §151.270(F)(1). The Applicant does not service consumer goods. The Applicants will customers for the proposed use will be general and sub-contractors who will perform services off-site. Few customers, and in any event, no members of the general public will come to the site. In addition, with respect to Code §151.112(CC)(2), all equipment on the subject property shall operate in accordance with the Illinois Environmental Protection Agency’s (IEPA) nighttime noise regulations (Title 35 Ill. Adm. Code Subtitle H, Chapter I). The proposed use will generate minimal noise which will be limited to within typical business hours only.

Further, with respect to “Landscape contractor’s storage yard”, the proposed use will satisfy the terms of §151.112(CC)(2) as stated above. In addition, the proposed use will also satisfy the terms of §151.112(FF)(2). First, the applicant is submitting a site capacity calculation and site plan for review in compliance with §151.070. This site capacity/site plan review is being conducted concurrently with any required conditional use permit review. Secondly, all equipment, parking facilities, and bulk material storage areas shall be screened from adjoining properties to the north, to the west (Des Plaines River) and to the south using the existing trees. Also, new trees are proposed to front the subject property along the western boundary as means of providing a more aesthetic and appealing look for traffic passing by. The Applicant is requesting that the height of the bulk material storage shall not exceed 15 feet. The Applicant is also requesting that the conditional use permit also include as accessory uses the following activities: wholesale sales of landscape-related bulk materials, snow removal operations, and the storage of plow blades.

Further, with respect to “Truck/trailer parking” the proposed use will satisfy the terms of UDO §151.112(CC)(2), because (as explained above) all equipment, parking facilities, and bulk material storage areas shall be screened from adjoining properties to the north, to the west (Des Plaines River) and to the south using the existing trees. Also, new trees are proposed to front the subject property along the western boundary as means of providing a more aesthetic and appealing look for traffic passing by. To the east of the property line is the Des Plaines River.

Further, the caretaker tenants who will reside within the caretaker's residence will provide oversight and report any unusual activity directly to the Applicant if any of the standards are not met.

Further, with respect to the UDO Site Capacity requirements, and stormwater requirements, the site plan and the proposed use will satisfy the code requirements. The applicant has prepared and submitted for review a Site Capacity Plan and Final Engineering Drawings that further illustrate the proposed site’s compliance with applicable ordinances.

- c. the proposed use in its proposed location will not have a substantial adverse impact on any of the following, either as they exist at the time of the application or as they may be developed in the future due to implementation of the Comprehensive Plan;

- 1. adjacent property,

The proposed uses in the subject property will not have any adverse impact on the adjacent properties. Since the subject property will be a truck parking facility with Landscape Contractor's material storage, noise (if any) is anticipated to be minimal and only within typical business hours. Further, the subject property is surrounded by a six-foot wood solid picket fence which screens it from the properties to the North and from Milwaukee Ave to the West. Further, the properties to the North and to the West are incorporated in the Village of Vernon Hills.

First, to the North of the subject property there is a single-family residential house at 55 S. Milwaukee Ave with a history of commercial use. This parcel is incorporated in the Village of Vernon Hills and classified under the B-1 zoning category. This house is well screened from the Applicant's site by the existing fence, trees and the thick vegetation which obscure that home from the site operations. Further north there is a beekeeping and honey making operation and a residential home.

Second, to the South of the subject property there are two commercial uses: a chimney sweep and a dog care facility. These sites are in unincorporated Lake County and under GC zoning district. Similar to the property to the north of the Subject Property, these two establishments are well screened from the Applicant's site by existing trees and perennial vegetation and a chain-link fence.

Third, to the East of the subject property there is the Des Plaines River and that area is maintained by the Lake County Forest Preserve District. Again, an existing row of trees separates the river from the Subject Property.

Fourth, immediately to the West of the subject property there is Milwaukee Ave, and two large scale commercial uses which have significant buffers and setbacks from Milwaukee Ave. These parcels to the west of the Subject Property are incorporated in the Village of Vernon Hills and are classified under the village's and B-1 BP (Business Park) zoning districts. Directly to the west is the American Hotel Register, Warehouse, with their truck and trailer loading bays, and further north a large multi-story office building which part of the Continental Executive Park.

- 2. the character of the neighborhood,

The proposed uses in the subject property will not have any adverse impact the character of the neighborhood. As mentioned above, the properties to the north and to the west of the subject property are incorporated in the Village of Vernon Hills. The property to the north is classified under the B-1 zoning district, and the properties to the West are under the BP

and B-1 zoning districts. Further, the properties to the south of the subject property are in unincorporated Lake County and are in the same GC zoning district as the subject property.

Therefore, the proposed uses conform to the surrounding properties in the neighborhood. In addition, new landscaping and trees will be installed along the frontage of the subject property in a further attempts to preserve the privacy of the proposed use and to make the subject property more aesthetically pleasing to traffic in Milwaukee Ave. Since the main use of the subject property is will be truck parking, traffic coming into and from the property is anticipated to be limited to business hours from the frontage driveway to Milwaukee Ave.

3. Natural resources,

The proposed uses in the proposed location will not have any adverse impact on natural resources. There are many grown trees and vegetation already planted along the eastern boundary of the subject property near the Des Plaines River, which will remain there and which allow the maintenance and sustenance of nearby wildlife. The proposed uses and development and site plan of the subject property will use gravel on the site instead of asphalt, which would allow water to naturally percolate through the soil below. The Applicant has also proposed a detention pond to ensure stormwater is captured and detained properly and released to the Des Plaines River up to the 100-year event delineation. No site improvements, fill, or modifications are anticipated within the flood plain. All proposed improvements would be outside of the proposed wetland buffer.

4. Infrastructure,

The proposed uses in the proposed location will not have any adverse impact on infrastructure on-site or in the surrounding area. The driveway to the subject property will remain at the same location where it currently is and it will be covered by gravel. Vehicular traffic along Milwaukee Avenue to and from the site is only expected during typical business hours. The sewer, water, and utility connections already exist on the subject property and do not need to be modified.

5. public site, or

The proposed uses in the proposed location will not have any adverse impact on public sites. All activities are confined to the subject property only. Nearby Milwaukee Avenue and other roads and public sites such as Half Day Forrest Preserve Trail nearby will remain unaffected by the everyday operations.

6. any other matters affecting the public health, safety, or general welfare.

The proposed use in its proposed location will not have any adverse impact on public safety based on the anticipated use of the site. As an extra layer of precaution, the applicant will maintain a caretaker residence and the tenant will provide oversight and report any unusual activity directly to the landlord.

APPLICANT INFORMATION

Applicant / Owner: TLMV 24831 Milwaukee, LLC

Phone: [REDACTED]

Address: 1912 Wright Blvd., Schaumburg, IL 60193

Email: [REDACTED]

I/we hereby authorize the following person to represent me/us in all matters related to this application:

Riccardo A. DiMonte
Anastas Shkurti
Robbins DiMonte, Ltd.
216 West Higgins Road
Park Ridge, IL 60068
Phone: [REDACTED]
Email: [REDACTED]

I/we hereby attest that all information given above is true and complete to the best of my/our knowledge.

Signature(s) of owner(s):

TLMV 24831 Milwaukee, LLC, by TLMV, LLC, its manager,
[REDACTED]

By: Tracy Lampignano, Its Manager

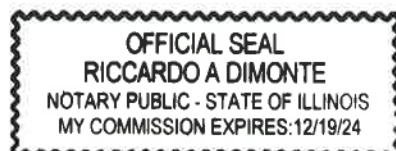
I, **Riccardo A. DiMonte**, a Notary Public aforesaid, do hereby certify that **Tracy Lampignano**, personally known to me is the person who executed the foregoing instrument bearing the date of **February 17, 2023**, and appeared before me this day in person and acknowledged that she signed, sealed and delivered the same instrument for the uses and purposes therein set forth.

Given under my hand and Notarial Seal this 17th day of February 2023.

(Seal)

My Commission expires _____

Signature [REDACTED]



**COURT REPORTER AGREEMENT
CHECK ONE OF THE FOLLOWING:**

- ☒ X I authorize the County to act on my behalf to retain a Certified Shorthand Reporter to transcribe the public hearing and provide a transcript to the Zoning Board of Appeals. I further agree to pay the Reporter reasonable fees for his/her services. If I do not pay the Reporter and the County is invoiced and pays the Reporter, I agree to reimburse the County. If the County sues to obtain reimbursement, I agree to pay the County its reasonable attorney's fees in bringing suit and obtaining a judgment.
- ☐ I will furnish a Certified Shorthand Reporter to transcribe the public hearing and provide a transcript to the Zoning Board of Appeals. I realize that the failure to do so may result in the continuation of the public hearing in which case I agree to reimburse the County for all additional expenses caused by such continuation.


Signature

Please send the bill to:

TLMV 24831 Milwaukee, LLC



THIS SIGNED AGREEMENT MUST ACCOMPANY YOUR APPLICATION

Special Warranty Deed
ILLINOIS

1.155.000.00

REAL ESTATE TRANSFER TAX



County: \$577.50
Illinois: \$1,155.00
Total: \$1,732.50
Stamp No: 1-311-938-720
Declaration ID: 20180904990135
Instrument No: 7515831
Date: 27-Sep-2018

Above Space for Recorder's Use Only

THIS AGREEMENT between Byline Bank d/b/a North Community Bank a State Chartered Bank, party of the first part, and TLMV 24831 Milwaukee, LLC, an Illinois Limited Liability company party of the second part, WITNESSETH, that the party of the first part, for and in consideration of the sum of TEN and 00/100 Dollars and other good and valuable consideration in hand paid by the party of the second part, the receipt whereof is hereby acknowledged, and pursuant to the authority of the Members of said company, by these persons does REMISE, RELEASE, ALIEN AND CONVEY unto the party of the second part, and to its successors and assigns, FOREVER, all the following described real estate, situated in the County of Cook and State of Illinois known and described as follows, to wit: *(see legal description rider attached as page 3 hereto)*

Together with all improvements located thereon and all and singular the hereditaments and appurtenances thereunto belonging, or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim or demand whatsoever, of the party of the first part, either in law or equity, of, in and to the above described premises, with the hereditaments, improvements, and appurtenances: TO HAVE AND TO HOLD the said premises as described on legal description rider, attached hereto, with the appurtenances, unto the party of the second part TLMV 24831 Milwaukee, LLC, an Illinois Limited Liability company its successors and assigns forever.

And the party of the first part, for itself, and its successors, does covenant, promise and agree, to and with the party of the second part, his/her/their heirs and assigns, that it has not done or suffered to be done, anything whereby the said premises hereby granted are, or may be, in any manner encumbered or charged, except as herein recited; and that the said premises, against all persons lawfully claiming, or to claim the same, by, through or under it, it WILL WARRANT AND DEFEND,

SUBJECT to: General Taxes for the year 2018 and subsequent years; Covenants, conditions and restrictions of record, if any;

Permanent Real Estate Index Number(s): 15-10-101-007-0000; 15-10-101-008-0000

Address(es) of Real Estate: 24831 N Milwaukee Ave., Vernon Hills, IL 60060

Image# 057685230003 Type: DW
Recorded: 09/27/2018 at 03:14:54 PM
Receipt#: 2018-00051550
Page 1 of 3
Fees: \$1,792.50
IL Rental Housing Fund: \$9.00
Lake County IL Recorder
Mary Ellen Vanderventer Recorder
File 7515831

Page 1

NA

3

IN WITNESS WHEREOF, the GRANTOR aforesaid has caused its Corporate Seal to be hereto affixed, and has caused its name to be signed these presents by its Real Estate Counsel, on the date stated herein.

Byline Bank,
a State Chartered Bank

By: Elka Nelson, Real Estate Counsel

State of Illinois
County of Cook ss.

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Elka Nelson personally known to me to be the Real Estate Counsel of Byline Bank d/b/a North Community Bank, and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person, and severally acknowledged that as such Real Estate Counsel, she signed and delivered the said instrument, pursuant to authority given by the Members of said company, as her free and voluntary act, and as the free and voluntary act and deed of said company, for the uses and purposes therein set forth.



(Impress Seal Here)
(My Commission Expires 1-9-22)

Given under my hand and official seal 9-24, 2018

This instrument was prepared by:
Elka Nelson
Byline Bank
180 North LaSalle Suite 300
Chicago, Illinois 60601

Send subsequent tax bills to:
TLMV 24831 Milwaukee, LLC
1900 Wright Blvd
Schaumburg, IL 60193

Recorder-mail recorded document to:
Paul Greep
D. Monte Lizak, LLC
216 W. Higgins Rd
Park Ridge, IL 60068

LEGAL DESCRIPTION

LOT 7 AND 8 IN ROBERT BARTLETT'S WOODLAND TRAILS UNIT NO. 1, A
SUBDIVISION OF THAT PART OF THE NORTH 1602.48 FEET OF THE NORTHWEST $\frac{1}{4}$
OF SECTION 10 (MEASURED ALONG THE EAST LINE OF SAID NORTHWEST $\frac{1}{4}$),
LYING BETWEEN THE CENTER LINE OF MILWAUKEE AVENUE AND THE CENTER
LINE OF THE DES PLAINES RIVER, IN TOWNSHIP 43 NORTH, RANGE 11, EAST OF
THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED
FEBRUARY 5, 1947 AS DOCUMENT 610615 IN BOOK 30 OF PLATS, PAGE 100, IN
LAKE COUNTY, ILLINOIS. .

PROPERTY DESCRIPTION:

PARCEL ONE: LOT 7 IN ROBERT BARTLETT'S WOODLAND TRAILS UNIT NO. 1, A SUBDIVISION OF THAT PART OF THE NORTH 1602.48 FEET OF THE NORTHWEST QUARTER OF SECTION 10, (MEASURED ALONG THE EAST LINE OF SAID NORTHWEST QUARTER) LYING BETWEEN THE CENTER LINE OF MILWAUKEE AVENUE AND THE CENTER LINE OF THE DES PLAINES RIVER IN TOWNSHIP 43 NORTH RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF, RECORDED FEBRUARY 5, 1947 AS DOCUMENT NO. 610615, IN BOOK 30 OF PLATS, PAGE 100, IN LAKE COUNTY, ILLINOIS.

PARCEL TWO: LOT 8 IN ROBERT BARTLETT'S WOODLAND TRAILS UNIT NO. 1, A SUBDIVISION OF THAT PART OF THE NORTH 1602.48 FEET OF THE NORTHWEST QUARTER OF SECTION 10, (MEASURED ALONG THE EAST LINE OF SAID NORTHWEST QUARTER) LYING BETWEEN THE CENTER LINE OF MILWAUKEE AVENUE AND THE CENTER LINE OF THE DES PLAINES RIVER IN TOWNSHIP 43 NORTH RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF, RECORDED FEBRUARY 5, 1947 AS DOCUMENT NO. 610615, IN BOOK 30 OF PLATS, PAGE 100 IN LAKE COUNTY, ILLINOIS.

Statement of Applicant's Manager and Ownership Interest

The Applicant is the record Owner of the subject property: **TLMV 24831 Milwaukee, LLC**, an Illinois limited liability company. Effective as of January 1, 2023,

1. 100% membership interest in TLMV24831 Milwaukee, LLC is held as follows:

**“TRACY LAMPIGNANO, as trustee of the JOSEPH LAMPIGNANO
ELECTED QTIP MARITAL TRUST created under the JOSEPH
LAMPIGNANO TRUST DATED JUNE 6, 2008”**

2. The Applicant's sole manager is **TLMV, LLC**, an Illinois limited liability company. The sole Manager of TLMV, LLC is Tracy Lampignano.

Natural Resource Information Report Application

McHenry-Lake County Soil and Water Conservation District

1648 S. Eastwood Dr., Woodstock, IL 60098 Voice: (815) 338-0099 Fax: (815) 338-7731

For office use only

File Number: _____ Date Received: _____ 20____
Fee: _____ (Please make check payable to McHenry-Lake County SWCD)

The McHenry-Lake County SWCD has thirty (30) days to complete this report after receipt of ALL the following items and after presentation to SWCD Board of Directors at their regularly scheduled meeting: Board meetings are scheduled for the first Tuesday of each month at the SWCD office.

Application Check List

Plat of Survey: ☒ Petition: _____ Fee: _____
Tentative plat: _____ Intensive Soil Survey: _____ Tile Investigation: _____
Certified Wetland and Determination/Delineation: _____

Processing of the NRI report will not begin until all the required items have been received by the MLCSWCD (office unless otherwise indicated by SWCD Staff)

Fee: Full report: \$400.00 for 1-3 acres and \$25.00 for each additional acre or part thereof.

Letter: \$100.00 SWCD will determine when letter or full report format will be necessary

TLMV 24831 Milwaukee, LLC

Petitioner's Name: _____ Phone: _____ Address: 1912 Wright Blvd.

Contact Person: Tracy Lampignano Phone: _____ Schaumburg, IL
60193

Address: 1912 Wright Blvd. Schaumburg, IL 60193

Parcel Index Number (s): (1) 15 - 10 - 101 - 007 (2) 15 - 10 - 101 - 008

(3) _____

Aggregate parcel size (acres): 3.75 AC

Current Zoning: GC Requested Zoning: GC

Description of Zoning Request: _____

Proposed Improvements:

<input type="checkbox"/> Dwellings on Slabs	<input type="checkbox"/> Common Open Space	<input checked="" type="checkbox"/> Drainage Ditches/Swales
<input type="checkbox"/> Dwellings with Basements	<input type="checkbox"/> Sewers	<input type="checkbox"/> Wet Retention Basin
<input type="checkbox"/> Commercial Buildings	<input type="checkbox"/> Individual Wells	<input checked="" type="checkbox"/> Storm Sewers
<input type="checkbox"/> Park/Playground Areas	<input type="checkbox"/> Community Water	<input checked="" type="checkbox"/> Dry Detention Basin
<input type="checkbox"/> Conservation Easements	<input type="checkbox"/> Septic Systems	<input type="checkbox"/> Other _____

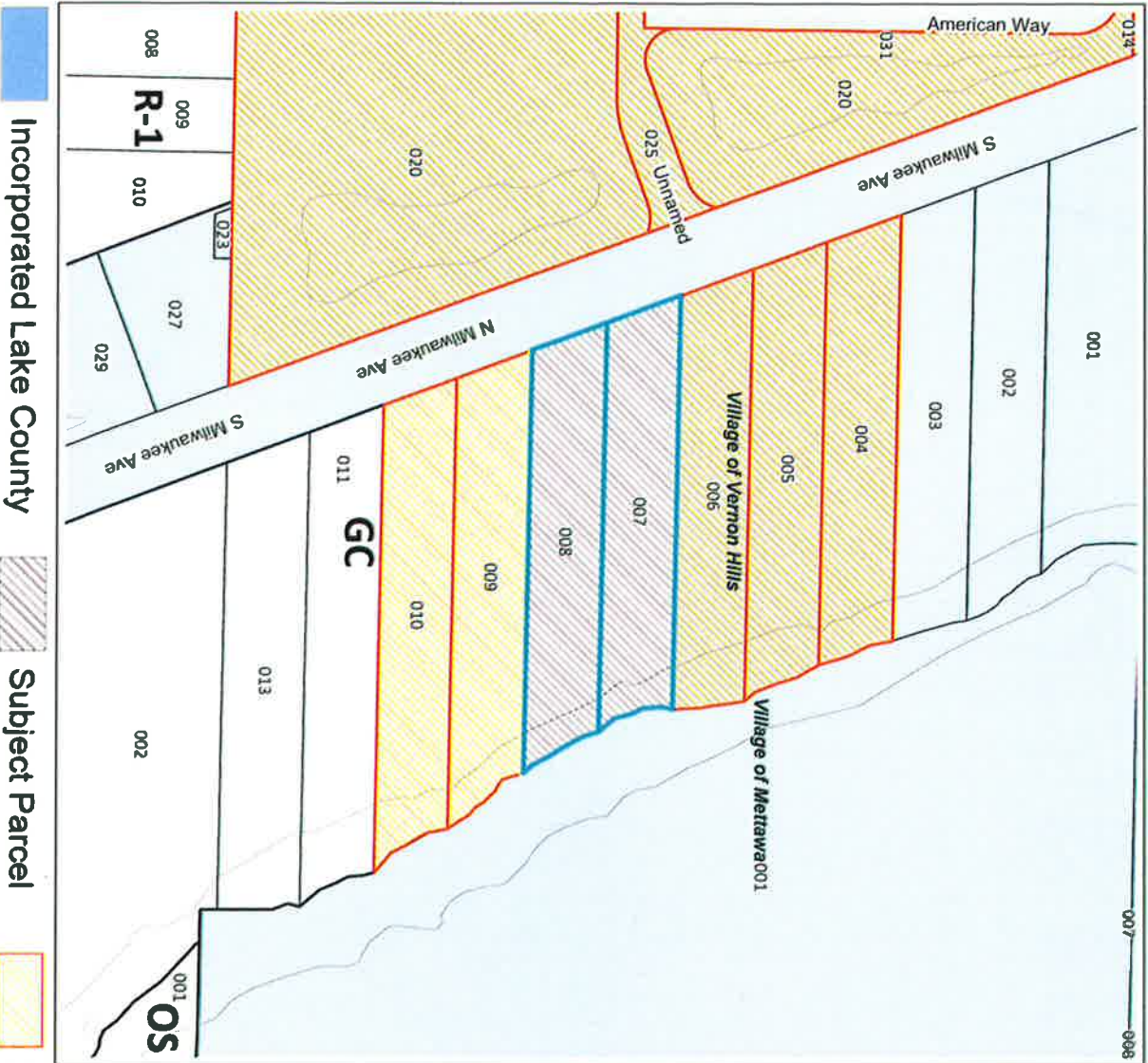
Unit of Government Responsible: _____ County of McHenry ☒ County of Lake
City/Town of Vernon Hills

Is the parcel within 1 mile of a Village or City Boundary? ☒ Yes ☐ No (circle one)

If yes, which (City/Town/Village)? Mettawa

It is understood that filing this application allows a district board member the right to conduct an onsite investigation of the parcel(s) described above. Furthermore, this report becomes subject to the Freedom of Information Act after presentation to the District Board of directors at their regularly scheduled meeting.

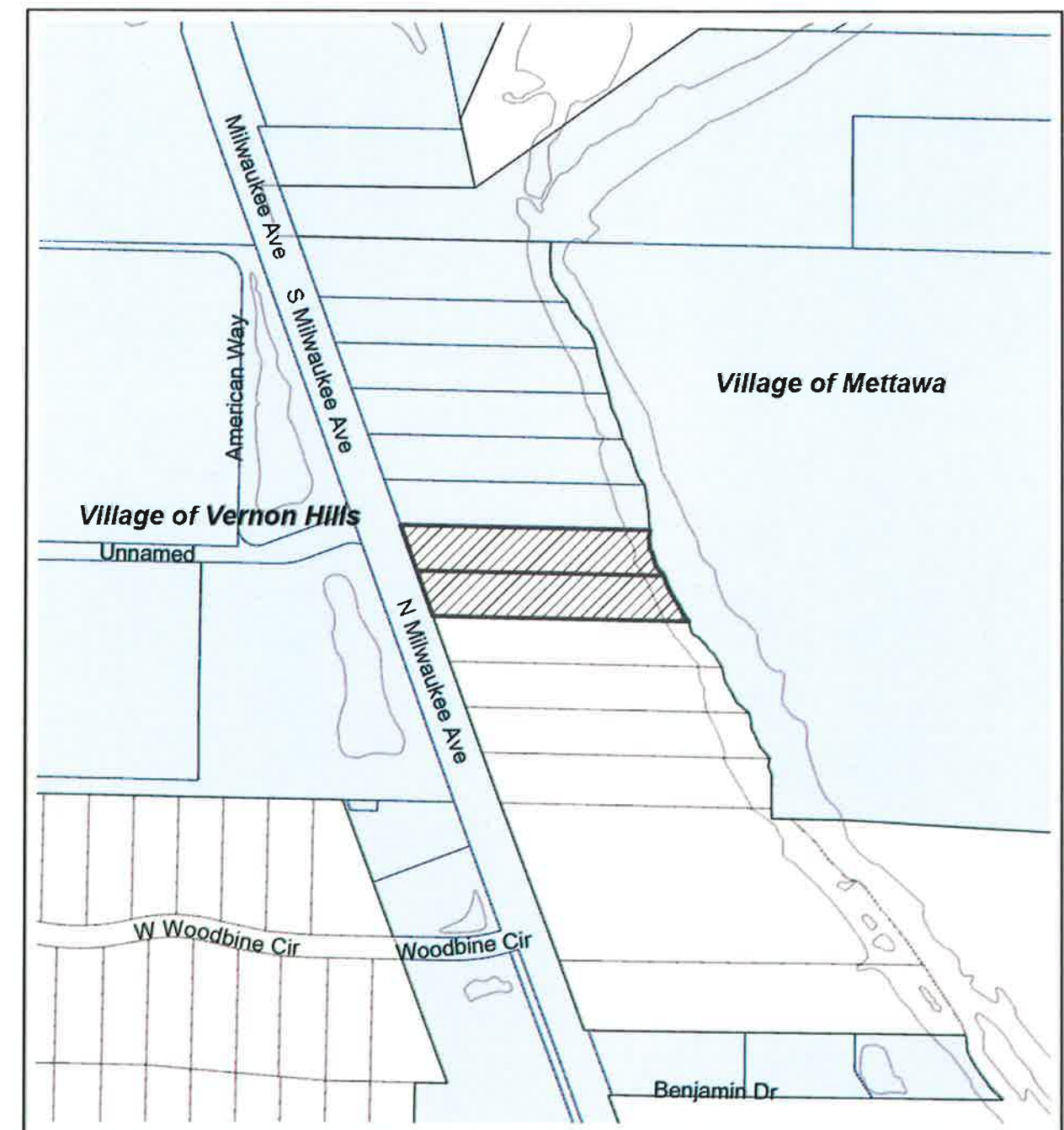
Contact person or Petitioner's signature: _____ Date: 2 / 17 / 20 23



Zoning Board of Appeals
Case # CUP-000918-2023
and VAR-000919-2023

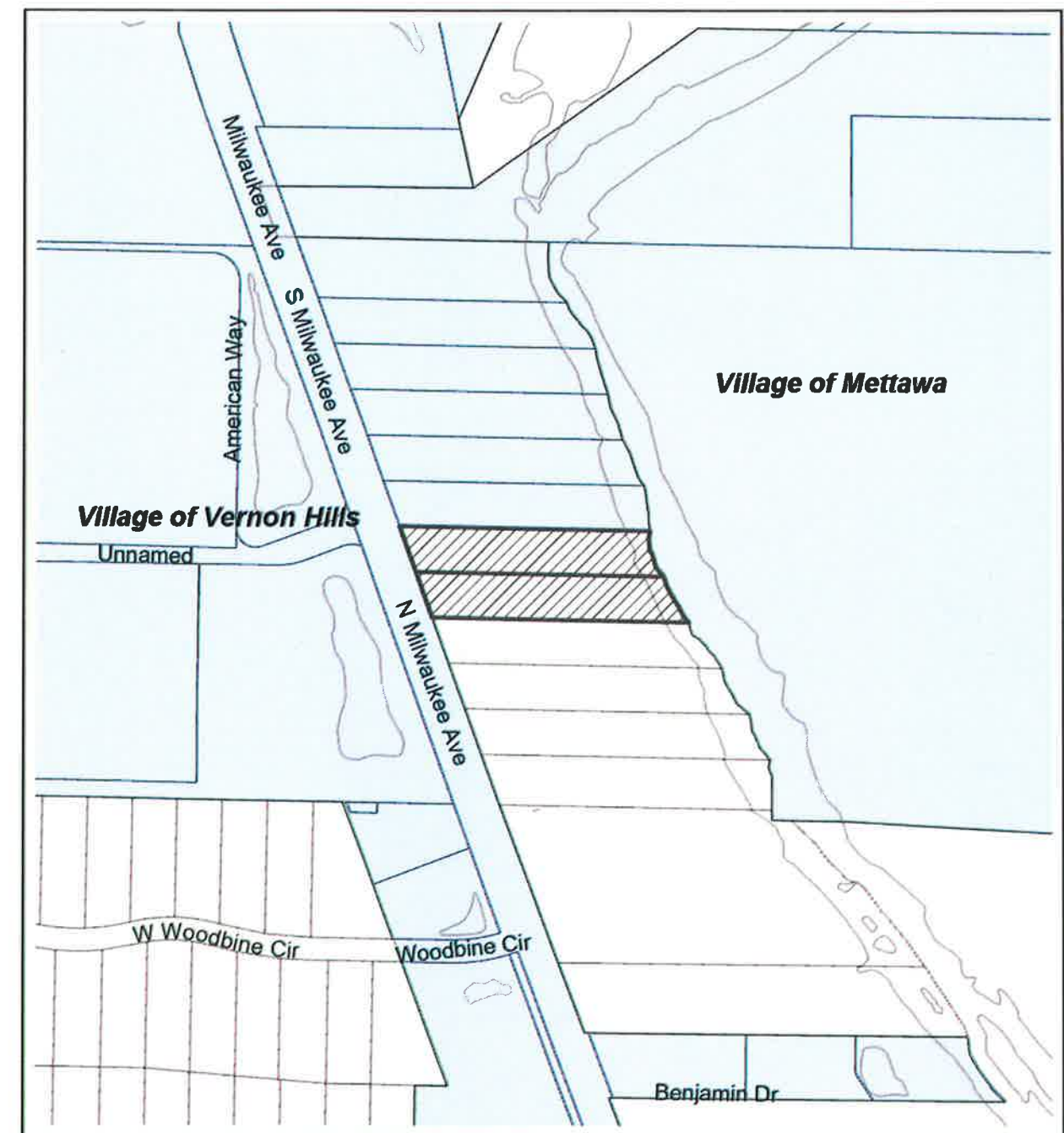
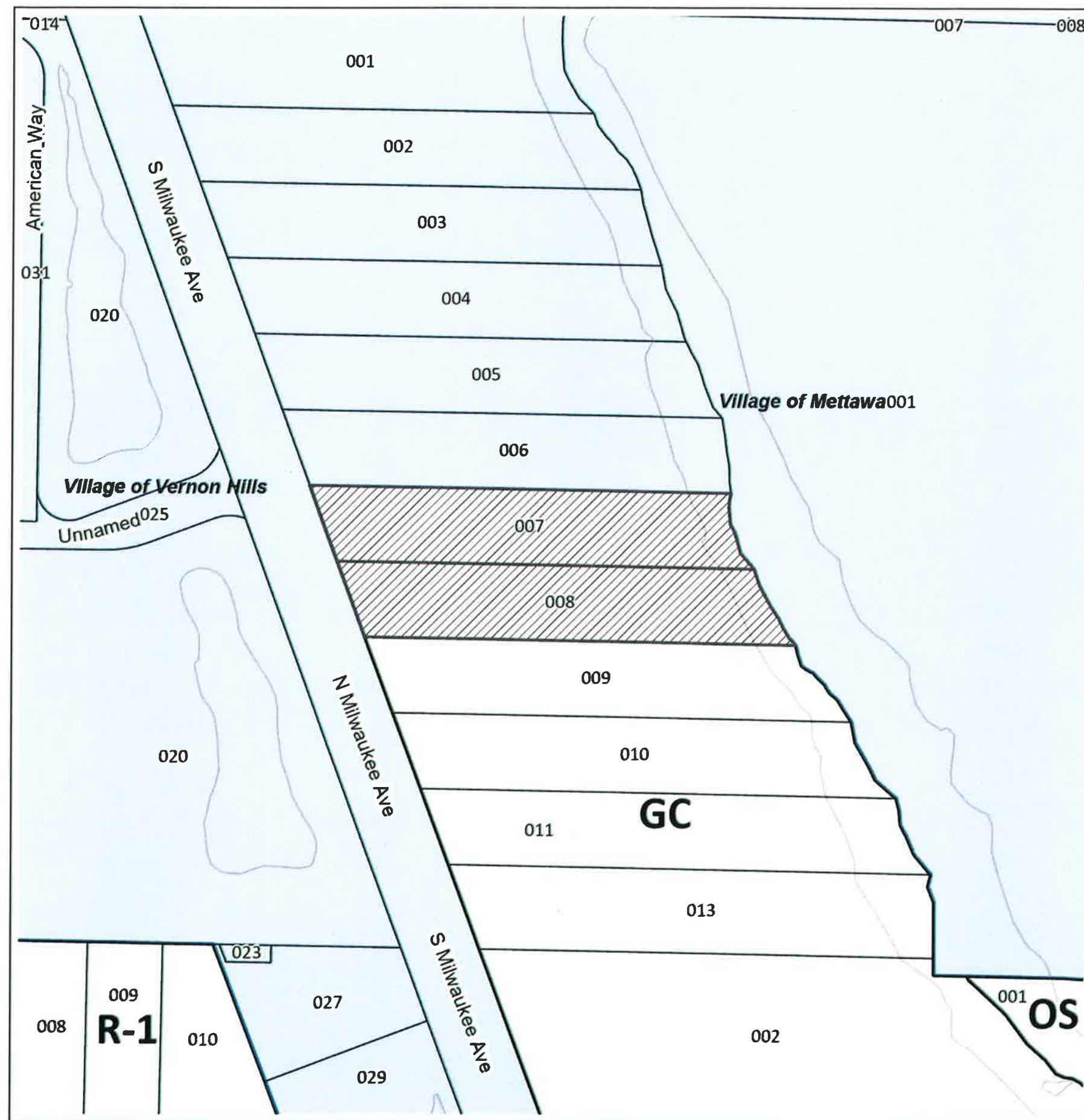


Incorporated Lake County Subject Parcel

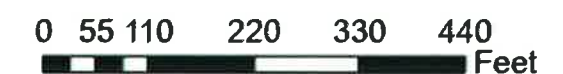


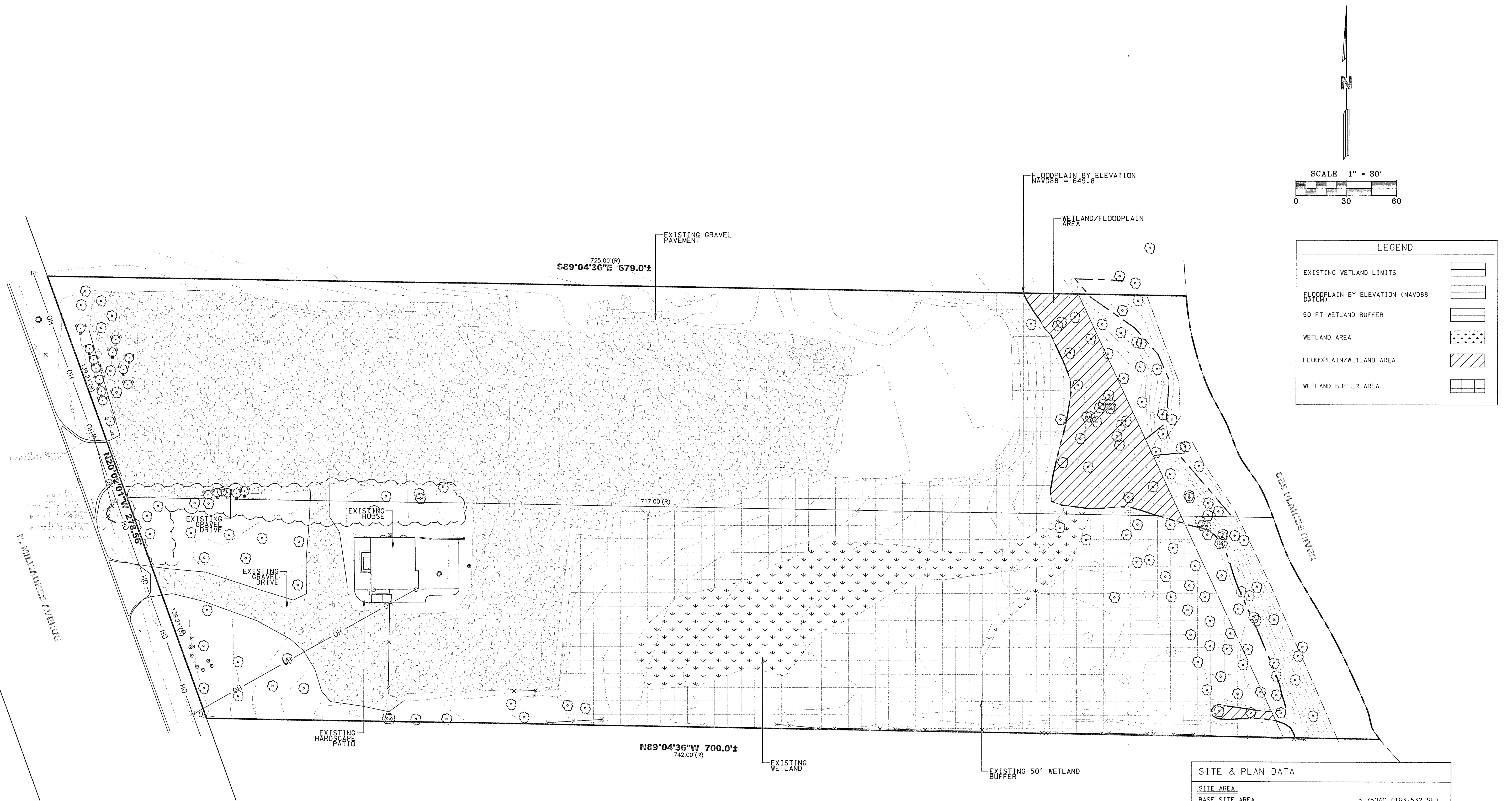
Zoning Board of Appeals
Case # CUP-000918-2023
and VAR-000919-2023

0 55 110 220 330 440 Feet



Zoning Board of Appeals
Case # CUP-000918-2023
and VAR-000919-2023





PROPERTY DESCRIPTION:

PARCEL ONE: LOT 7 IN ROBERT BARTLETT'S WOODLAND TRAILS UNIT NO. 1, A SUBDIVISION OF THAT PART OF THE NORTH 1602.48 FEET OF THE NORTHWEST QUARTER OF SECTION 10, (MEASURED ALONG THE EAST LINE OF SAID NORTHWEST QUARTER) LYING BETWEEN THE CENTER LINE OF MILWAUKEE AVENUE AND THE CENTER LINE OF THE DES PLAINES RIVER IN TOWNSHIP 43 NORTH RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF, RECORDED FEBRUARY 5, 1947 AS DOCUMENT NO. 610615, IN BOOK 30 OF PLATS, PAGE 100, IN LAKE COUNTY, ILLINOIS.

PARCEL TWO: LOT 8 IN ROBERT BARTLETT'S WOODLAND TRAILS UNIT NO. 1, A SUBDIVISION OF THAT PART OF THE NORTH 1602.48 FEET OF THE NORTHWEST QUARTER OF SECTION 10, (MEASURED ALONG THE EAST LINE OF SAID NORTHWEST QUARTER) LYING BETWEEN THE CENTER LINE OF MILWAUKEE AVENUE AND THE CENTER LINE OF THE DES PLAINES RIVER IN TOWNSHIP 43 NORTH RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF, RECORDED FEBRUARY 5, 1947 AS DOCUMENT NO. 610615, IN BOOK 30 OF PLATS, PAGE 100 IN LAKE COUNTY, ILLINOIS.

BENCHMARKS:

SOURCE BENCHMARK: (NGS MONUMENT DESIGNATION LAK21 1B, A2863)
STATION IS 218' SOUTH OF A SANITARY MANHOLE, 121.5' NORTHWEST OF A SANITARY MANHOLE, 25' SOUTHWEST OF TCI CABLE BOX, 3.5' WEST OF CONCRETE SIDEWALK, AND 2.0' EAST OF AN ORANGE FIBERGLASS WITNES POST.
ELEVATION = 668.03 (NAVD88)

SITE BENCHMARK #1:
CROSS CUT AT SOUTHWEST CORNER OF TRAFFIC CONTROL BOX AT SOUTHWEST INTERSECTION OF MILWAUKEE AVENUE AND AMERICAN HOTEL REGISTER AT INTERNATIONAL CORPORATE PARK
ELEVATION = (668.13 PER SITE CAPACITY ANALYSIS PLAN PREPARED BY GREENGARD, INC. DATED MARCH 14, 2011) 667.78 (NAVD 88) MEASURED

VERNON HILLS STATION NO.221 FIELD CHECK
FOUND A 5/8 REBAR WITH RED CAP STAMPED "AYRES ASSOC. GPS STATION REBAR AND CAP ARE LOCATED AT FIRST CORNER NORTH OF THE SOUTHEAST CORNER OF FORMER K-MART PARKING LOT.
ELEVATION = (652.24 PUBLISHED) 651.94 MEASURED (NAVD 88)

SITE & PLAN DATA

SITE AREA	
BASE SITE AREA	3.750AC (163,532 SF)
FLOODPLAIN/WETLAND AREA (SEE LEGEND)	0.136AC (5,737 SF)
WETLAND AREA (SEE LEGEND)	0.226AC (10,235 SF)
WETLAND BUFFER AREA (SEE LEGEND)	1.110AC (47,835 SF)
NET SITE AREA	2.289AC (99,725 SF)
ZONING DISTRICT - GENERAL COMMERCIAL (GC)	
MAXIMUM IMPERVIOUS AREA (ISR = 0.7)	1.60AC (69,808 SF)
MAXIMUM FLOOR AREA (FAF = 0.3)	29,918 SF
MAXIMUM BUILDING HEIGHT	35 FT
MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	50 FT
BUILDING SETBACKS	
FRONT	30 FT
SIDE	12 FT
REAR	12 FT
SITE USES	
GRAVEL GRINDINGS	1.500AC (65,340 SF)
HOUSE FOOTPRINT	0.019AC (827 SF)
STODP, SIDEWALK, PATIO	0.033AC (1,452 SF)
TOTAL EXISTING IMPERVIOUS AREA	1.552AC (67,619 SF)



Mackie Consultants, LLC
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Rosemont, IL 60018
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CLIENT:

TLMV, LLC

1912 WRIGHT BOULEVARD
SCHAUMBURG, ILLINOIS 60193

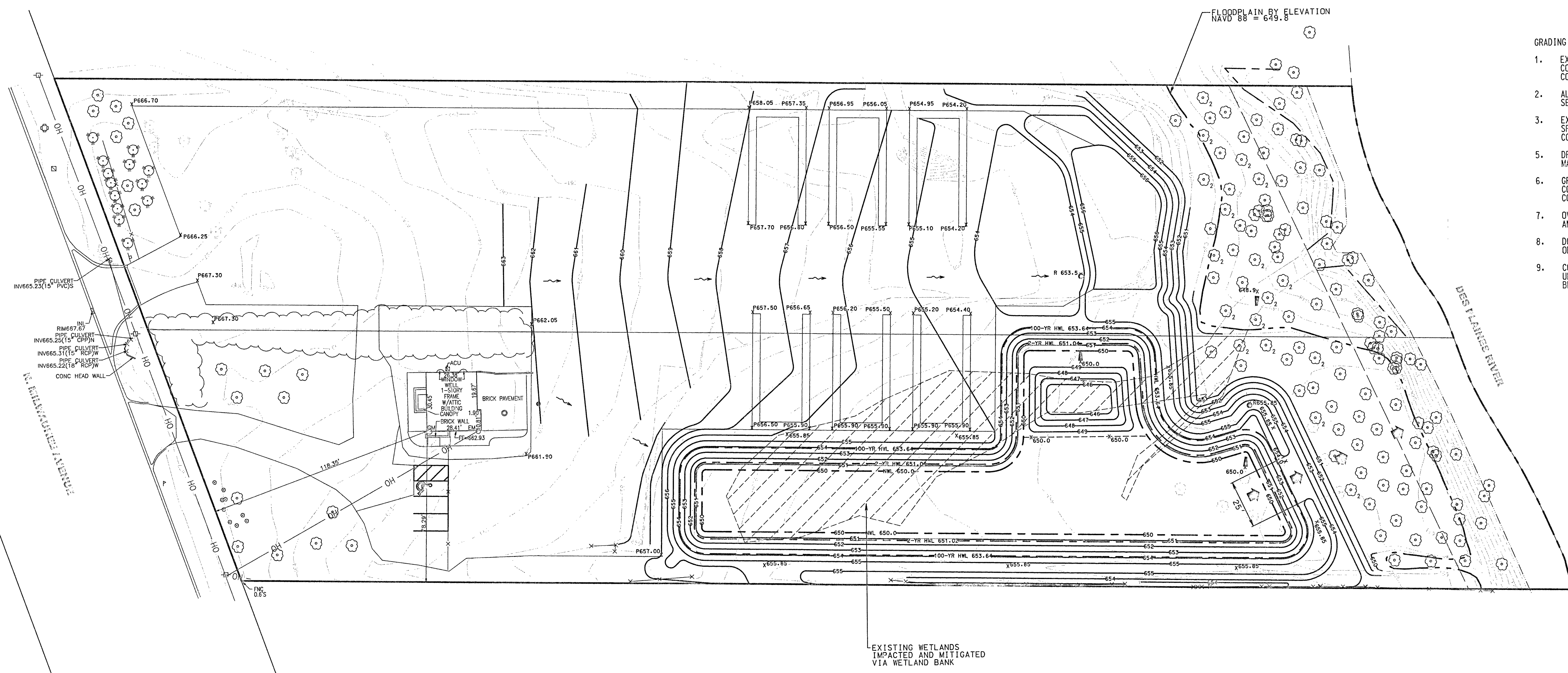
		DESIGNED	MRM
		DRAWN	MRM
		APPROVED	SRK
09/12/23	REVISED PER LAKE COUNTY COMMENTS	DATE	06/18/21
09/09/21	REVISED PER LAKE COUNTY COMMENTS	BY	
DATE	DESCRIPTION OF REVISION	SCALE	1" = 30'

SITE CAPACITY PLAN
24803 & 24831 N. MILWAUKEE AVENUE
VERNON HILLS, ILLINOIS

SHEET

2 OF 10

PROJECT NUMBER: 3694
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1. EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS ON 06/09/21. CONTRACTOR SHALL FIELD CHECK EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES.
2. ALL DISTURBED AREAS SHALL BE RESTORED WITH 4-INCHES OF TOPSOIL AND SEED.
3. EXCAVATION AND EMBANKMENT SHALL BE PERFORMED PER THE DETAILED SPECIFICATIONS AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
5. DRIVEWAY SLOPES FROM THE RIGHT-OF-WAY SHALL BE A MINIMUM OF 2% AND A MAXIMUM OF 10%.
6. GRADING INDICATED MAY NEED TO BE ADJUSTED BASED ON FIELD CONDITIONS. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES WITH FIELD CONDITIONS PRIOR TO FINE GRADING.
7. OVERFLOW DRAINAGE ROUTES AND SWALES MUST BE INSTALLED AT THE ELEVATION AND LOCATION SHOWN.
8. DO NOT INTERRUPT DRAINAGE FROM OFF SITE DURING CONSTRUCTION OPERATIONS. PROVIDE TEMPORARY DRAINAGE DITCHES WHERE REQUIRED.
9. CONTRACTOR SHALL MEET EXISTING GROUND ELEVATIONS AT PROPERTY LINE, UNLESS OTHERWISE NOTED AND THE APPROPRIATE EASEMENTS OR PERMISSION HAS BEEN OBTAINED.

STORMWATER SUMMARY TABLE	
<u>SITE INFORMATION</u>	
DISTURBED AREA	3.30 AC
<u>DETENTION</u>	
REQUIRED DETENTION	1.364 AC-FT
PROVIDED DETENTION	1.718 AC-FT
<u>WATER QUALITY</u>	
REQUIRED STORAGE	0.140 AC-FT
PROVIDED STORAGE	0.573 AC-FT
<u>RELEASE RATE</u>	
Q(2-YR) ALLOWED =	0.132 CFS
Q(100-YR) ALLOWED =	0.496 CFS
Q(2-YR) PROPOSED =	0.132 CFS*
Q(100-YR) PROPOSED =	0.492 CFS*
*NOTE: A MINIMUM 4" RESTRICTOR WILL BE USED PER LAKE COUNTY ORDINANCE	
<u>NORMAL AND HIGH WATER ELEVATION</u>	
PEAK POND WATER ELEVATION	650.00
2-YEAR HIGH WATER ELEVATION	651.01
100-YEAR HIGH WATER ELEVATION	653.32
<u>OVERFLOW WEIR</u>	
PEAK POND INFLOW RATE	2.00 CFS
TRIBUTARY AREA	3.20 ACRES
WEIR CAPACITY	2.30 CFS
WEIR LENGTH	25 FT
WEIR SURFACE ELEVATION	654.10 FT
POND BERM TOP ELEVATION	655.85 FT
EMBANKMENT	1.75 FT



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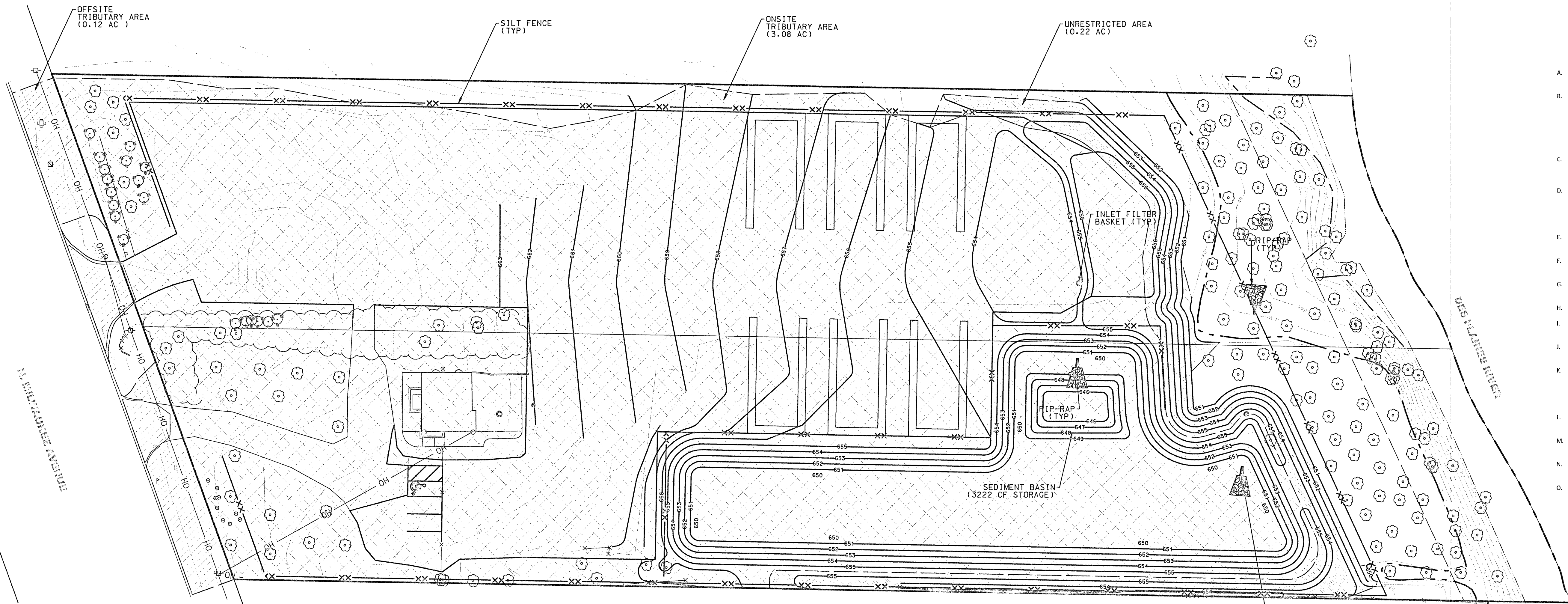
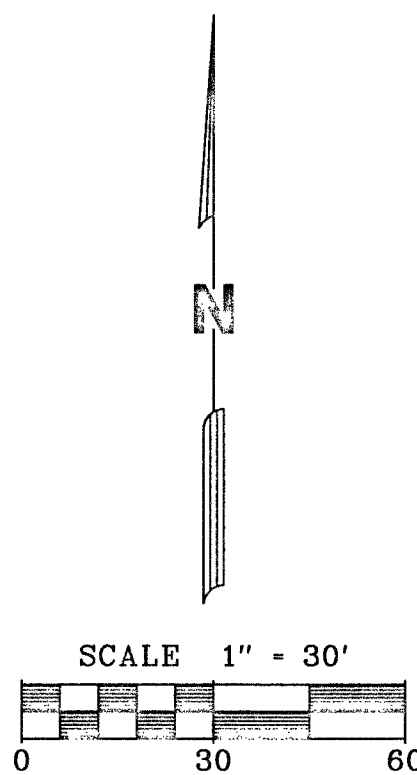
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09/12/23	REVISED PER LAKE COUNTY COMMENTS	MRM	DATE	06/18/21
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<u>D&T</u>	DESCRIPTION OF REVISION	BY		

GRADING PLAN
24803 & 24831 N. MILWAUKEE AVENUE
VERNON HILLS, ILLINOIS

SHEET

4 OF 10

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LAKE COUNTY STORMWATER MANAGEMENT COMMISSION SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION NOTES

- SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF HYDROLOGIC DISTURBANCE OF UPLAND AREAS.
- FOR THOSE DEVELOPMENTS THAT REQUIRE A DESIGNATED EROSION CONTROL INSPECTOR (DECI), INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:
 - UPON COMPLETION OF SEDIMENT AND RUNOFF CONTROL MEASURES (INCLUDING PERIMETER CONTROLS AND DIVERSIONS), PRIOR TO PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
 - AFTER EVERY SEVEN (7) CALENDAR DAYS OR STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.
- SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
- A STABILIZED MAT OF CRUSHED STONE MEETING DOT GRADATION CA-1 UNDERLAIN WITH FILTER FABRIC AND IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL, OR OTHER APPROPRIATE MEASURE(S) AS APPROVED BY THE ENFORCEMENT OFFICER, SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN.
- DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) CALENDAR DAYS FOLLOWING THE END OF ACTIVE HYDROLOGIC DISTURBANCE OR REDISTURBANCE.
- ALL STOCKPILES SHALL HAVE APPROPRIATE MEASURES TO PREVENT EROSION. STOCKPILES SHALL NOT BE PLACED IN FLOOD PRONE AREAS OR WETLANDS AND DESIGNATED BUFFERS.
- SLOPES STEEPER THAN 3H:1V SHALL BE STABILIZED WITH APPROPRIATE MEASURES AS APPROVED BY THE ENFORCEMENT OFFICER.
- APPROPRIATE EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL INTERIOR DETENTION BASIN SIDE SLOPES BETWEEN THE NORMAL WATER LEVEL AND HIGH WATER LEVEL.
- STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY AN APPROPRIATE SEDIMENT CONTROL MEASURE.
- IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DISCHARGES SHALL BE ROUTED THROUGH AN APPROVED ANIONIC POLYMER DEWATERING SYSTEM OR A SIMILAR MEASURE AS APPROVED BY THE ENFORCEMENT OFFICER. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE ENFORCEMENT OFFICER, OR APPROVED REPRESENTATIVE, MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.
- IF INSTALLED SOIL EROSION AND SEDIMENT CONTROL MEASURES DO NOT MINIMIZE SEDIMENT LEAVING THE DEVELOPMENT SITE, ADDITIONAL MEASURES SUCH AS ANIONIC POLYMERS OR FILTRATION SYSTEMS MAY BE REQUIRED BY THE ENFORCEMENT OFFICER.
- ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE PROPERTY OWNER SHALL BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE AND REPAIR.
- ALL TEMPORARY SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, ENFORCEMENT OFFICER, OR OTHER GOVERNING AGENCY.

U:\Regulatory Programs\SESC\handouts\SE-SC Notes 2013 TAC approved.docx

SWPPP LEGEND

- INLET PROTECTION - FILTER BASKET
SILT FENCE
RIP-RAP

THE FOLLOWING ITEMS HAVE NOT BEEN SPECIFICALLY SHOWN BUT ARE REQUIRED AS PART OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MUST BE INCORPORATED DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED.

- TEMPORARY AND/OR PERMANENT STABILIZATION
- WASTE MANAGEMENT
- CONCRETE WASTE MANAGEMENT (CONCRETE WASH-OUT FACILITY)
- SEDIMENT TRAPS
- DUST CONTROL
- ALLOWABLE DEWATERING OPERATIONS.

DETAILS AND INFORMATION REGARDING THESE MEASURES HAVE BEEN PROVIDED ON SHEET.

THE OWNER AND CONTRACTORS SHALL ALSO REVIEW ALL CONSTRUCTION PRACTICES TO MINIMIZE THE POTENTIAL IMPACTS TO STORMWATER DISCHARGES FROM THE SITE. SPECIFIC CONSIDERATIONS ARE PROVIDED ON PAGE FOR THE FOLLOWING ACTIVITIES:

- CONCRETE CURBING
- VEHICLE STORAGE AND MAINTENANCE
- MATERIAL STORAGE
- SANITARY STATIONS
- SPILL PREVENTION

NOTE: FOR TREE PROTECTION LOCATION AND DETAILS, REFER TO LANDSCAPE PLANS

DECI: RAQUEL RIVERA
DECI # SMC-DECI-001245-2023

GENERAL INFORMATION
THIS STORM WATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN DEVELOPED TO FULFILL ONE OF THE REQUIREMENTS OF THE GENERAL NPDES PERMIT NO. ILR10 FOR THE DISCHARGE OF STORM WATER ASSOCIATED WITH CONSTRUCTION PROJECTS DISTURBING ONE ACRE OR MORE. THE OWNER AND CONTRACTORS SHALL COMPLY WITH ALL REQUIREMENTS OF THE ILR10 FOR ALL SUCH CONSTRUCTION PROJECTS. THE STORM WATER DISCHARGES ASSOCIATED WITH THE CONSTRUCTION ACTIVITY FROM THIS SITE ARE SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE ILR10 GENERAL NPDES PERMIT, MODIFIED DATE AUGUST 3, 2018.

ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH "PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL IN ILLINOIS" AND THE "ILLINOIS URBAN MANUAL."

THE EXECUTED OWNER CERTIFICATION AND THE CONTRACTOR CERTIFICATIONS SHALL BE KEPT ONSITE WITH THE APPROVED SWPPP.

SWPPP AVAILABILITY
THE OWNER SHALL RETAIN A COPY OF THE SWPPP AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

KEEPING PLANS CURRENT
THE PERMITTEE SHALL AMEND THE PLAN WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS TO THE WATERS OF THE STATE AND WHICH HAS NOT OTHERWISE BEEN ADDRESSED IN THE PLAN OR IF THE PLAN PROVES TO BE INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY CONTROLLING POLLUTANTS IN STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION SITE ACTIVITY. IN ADDITION, THE PLAN SHALL BE AMENDED TO IDENTIFY ANY NEW CONTRACTOR AND/OR SUBCONTRACTOR THAT WILL IMPLEMENT A MEASURE OF THE PLAN. AMENDMENTS TO THE PLAN MAY BE REQUIRED BY THE MUNICIPALITY, OWNER, OR OTHER REVIEWING AGENCY. COPIES OF THE AMENDMENTS SHALL BE KEPT ONSITE AS PART OF THE SWPPP.

RETENTION OF RECORDS
THE OWNER SHALL RETAIN COPIES OF THIS PLAN AND ALL REPORTS AND NOTICES REQUIRED BY THIS PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT, FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE PERMIT COVERAGE EXPIRES OR IS TERMINATED. THIS PERIOD MAY BE EXTENDED BY THE REQUEST OF THE AGENCY AT ANY TIME. IN ADDITION, THE OWNER SHALL RETAIN A COPY OF THE PLAN REQUIRED BY THIS PERMIT AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

ILR10 NOTICE OF TERMINATION GUIDANCE
WHEN A SITE HAS BEEN FINALLY STABILIZED AND ALL STORM WATER DISCHARGES FROM CONSTRUCTION SITES THAT ARE AUTHORIZED BY THE ILR10 PERMIT ARE ELIMINATED, THE OWNER OF THE FACILITY MUST SUBMIT A COMPLETED NOTICE OF TERMINATION THAT IS SIGNED IN ACCORDANCE WITH PART II.F.1.a (SIGNATORY REQUIREMENTS) OF THE PERMIT.

BEST MANAGEMENT PRACTICES FOR POST CONSTRUCTION STORMWATER MANAGEMENT
THE FOLLOWING POST-CONSTRUCTION PRACTICES HAVE BEEN INCLUDED WITHIN THIS STORMWATER POLLUTION PREVENTION PLAN TO CONTROL POLLUTION UPON COMPLETION OF CONSTRUCTION ACTIVITIES:

- DEEP WATER DETENTION PONDS WITH NATIVE VEGETATION PLANTED ON SIDE SLOPES;
- DRY BOTTOM DETENTION PONDS WITH NATIVE PLANTINGS;
- WATER-QUALITY DETENTION BASIN WITH EMERGENT AND NATIVE PLANTINGS;
- POND INLET/OUTLET DESIGN TO PREVENT SHORT-CIRCUITING OF FLOW;
- SEDIMENT POOLS AT DISCHARGE POINTS IN WATER QUALITY PONDS;
- PERMANENT LEVEL SPREADERS;
- VEGETATED SWALES WITH NATIVE PLANTINGS;
- VEGETATED SWALES WITH NATIVE PLANTINGS AND UNDERDRAINS;
- VEGETATED SWALES WITH TURF GRASSES;
- FILTER STRIPS, 25-FOOT MINIMUM, WITH NATIVE GRASSES;
- FILTER STRIPS, 25-FOOT MINIMUM WITH TURF GRASSES;
- RIP RAP AT STORMWATER DISCHARGE POINTS;

TRIBUTARY AREA LEGEND

RUNOFF AREA 001 (3.08 AC)	
RUNOFF AREA 002 (0.12 AC)	
RUNOFF AREA 003 (0.22 AC)	

CLIENT:

TLMV, LLC

1912 WRIGHT BOULEVARD
SCHAUMBURG, ILLINOIS 60193

DATE	DESCRIPTION OF REVISION	BY	SCALE
09/12/23	REVISED PER LAKE COUNTY COMMENTS	MRM	DATE 06/18/21
09/09/21	REVISED PER LAKE COUNTY COMMENTS	MRM	SCALE 1" = 30'

STORM WATER POLLUTION PREVENTION PLAN

24803 & 24831 N. MILWAUKEE AVENUE

VERNON HILLS, ILLINOIS

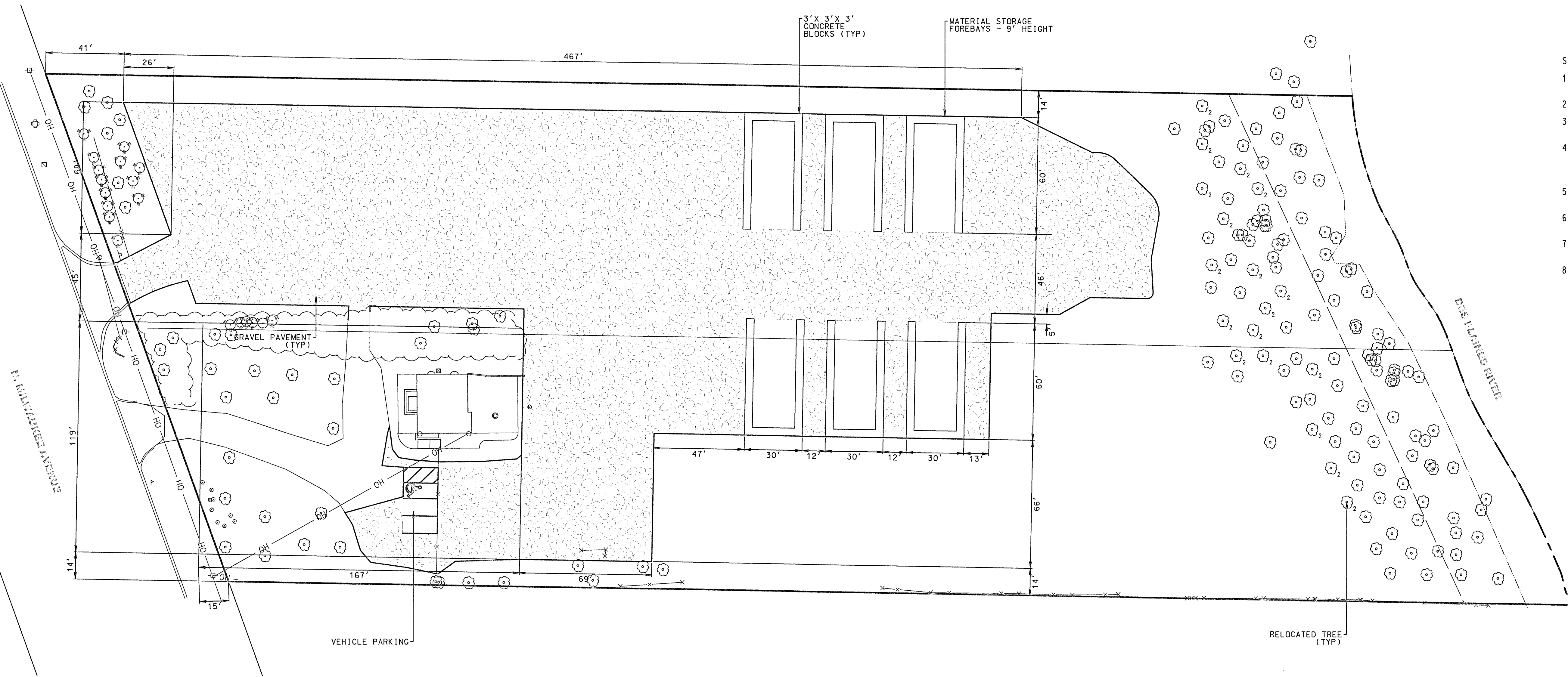
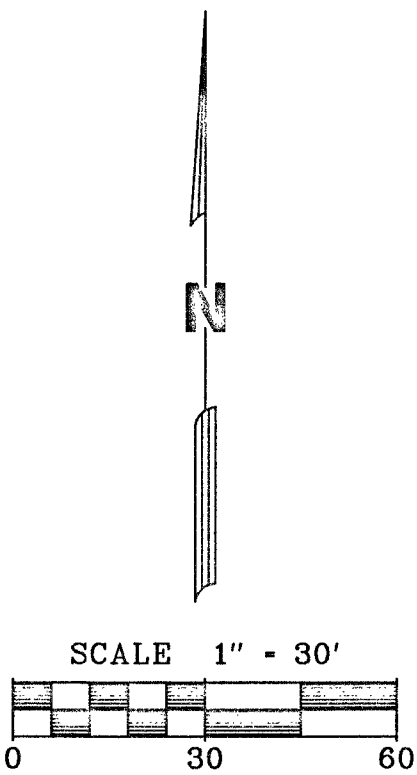
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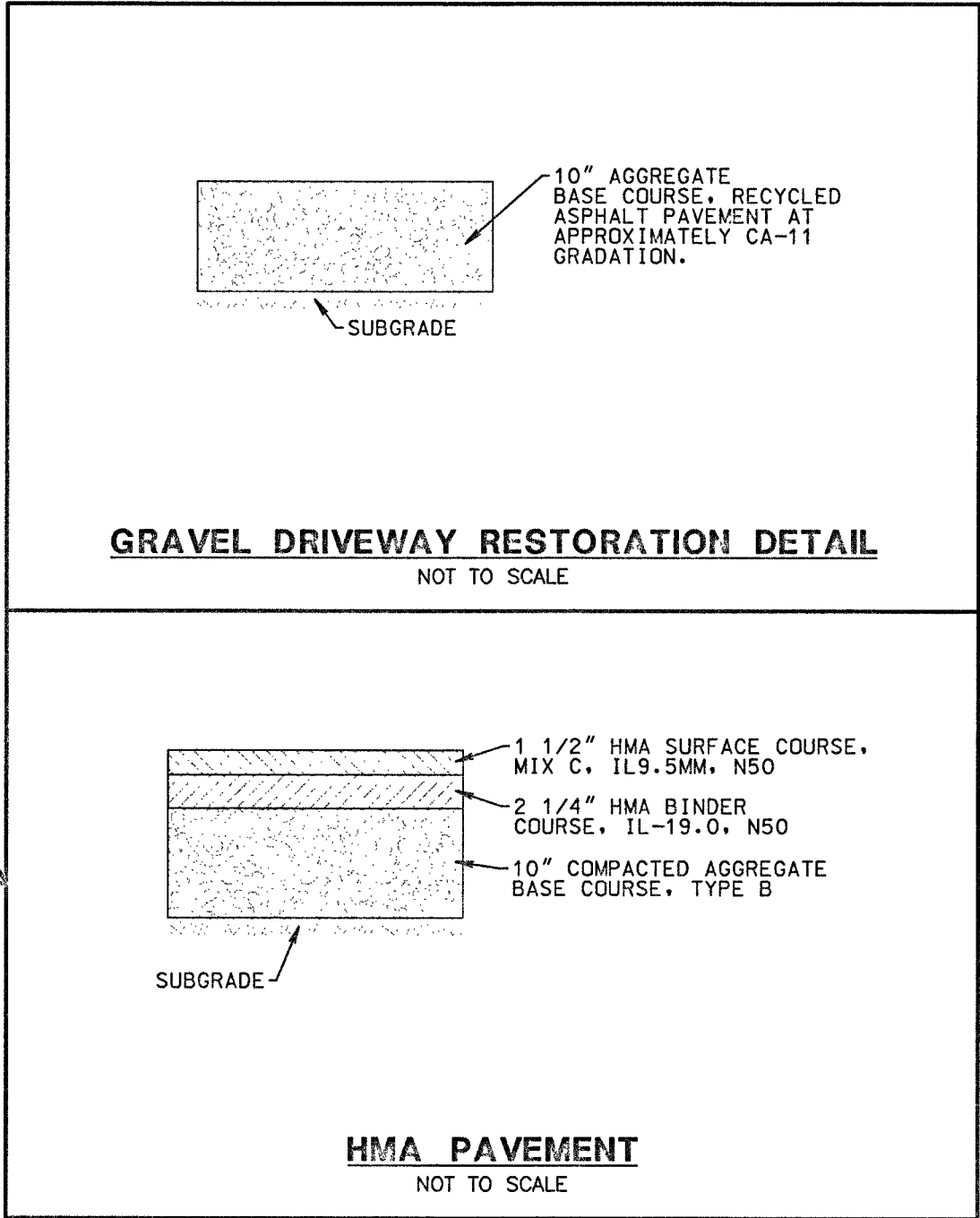
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PAVING LEGEND	
HMA PAVEMENT	
GRAVEL	
RELOCATED TREE	

* REFER TO LANDSCAPE TREE REMOVAL AND REPLACEMENT PLANS FOR DETAILS AND SPECIFICATIONS



- SITE PLAN GENERAL NOTES
- ALL DIMENSIONS ARE TO BACK OF CURB OR FACE OF BUILDING, UNLESS OTHERWISE NOTED.
 - ALL RADIi ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.
 - ALL ONSITE PAVEMENT MARKINGS SHALL BE PAINTED, UNLESS OTHERWISE NOTED.
 - ALL PROPOSED CURB AND GUTTER SHALL BE 86.12 AND SHALL BE DEPRESSED CURB WHERE SIDEWALK MEETS A STREET, UNLESS OTHERWISE INDICATED. CURB DEPRESSIONS SHALL MEET ADA REQUIREMENTS AS NOTED IN THE CONSTRUCTION DETAILS.
 - ALL JOINTS MADE WITH EXISTING PAVEMENT, CURB, WALK OR CURB AND GUTTER ARE TO BE SAWCUT FULL DEPTH WITHIN 24 HOURS OF PLACEMENT.
 - ALL CURB ISLANDS TO HAVE 1-FOOT MINIMUM RADIUS ON CORNERS, UNLESS OTHERWISE SHOWN.
 - THE INTENDED USE OF THE PROPERTY IS FOR A CONTRACTOR'S YARD/LANDSCAPE VEHICLE STORAGE, AND AN ACCESSORY RESIDENTIAL USE.
 - ANTICIPATED ACTIVITIES ON SITE INCLUDE DROP OFF AND PICK UP OF MATERIAL STORAGE, AND CONTRACTOR VEHICLE PARKING.



9/12/2023 4:06:30 PM
Mackie Engineering, Inc. Conditional Use Permit Plans & - Geometric Site Plan



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		DESIGNED	MRM
		DRAWN	MRM
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09/12/23	REVISED PER LAKE COUNTY COMMENTS	MRM	DATE 06/18/21
09/09/21	REVISED PER LAKE COUNTY COMMENTS	MRM	SCALE 1" = 30'
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GEOMETRIC SITE PLAN
24803 & 24831 N. MILWAUKEE AVENUE
VERNON HILLS, ILLINOIS

SHEET	
8 OF 10	
PROJECT NUMBER:	3694
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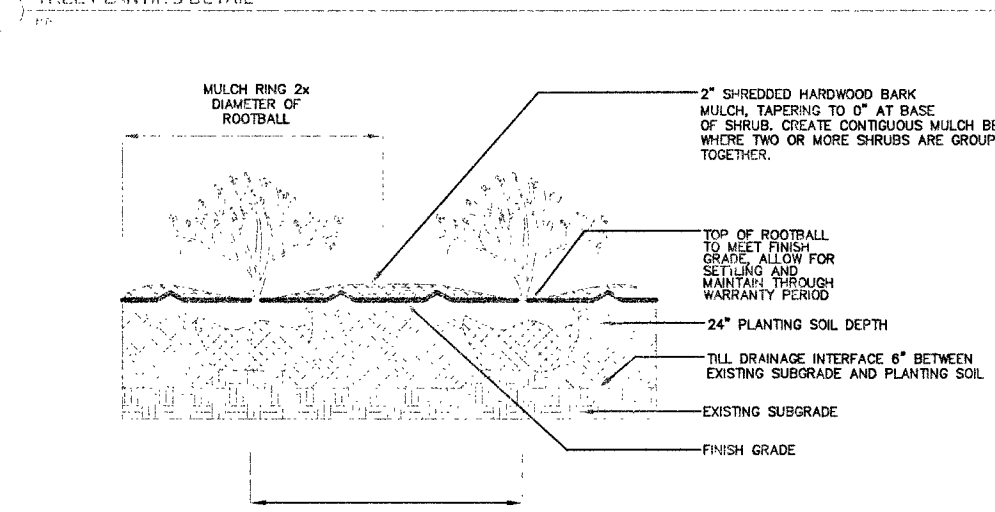
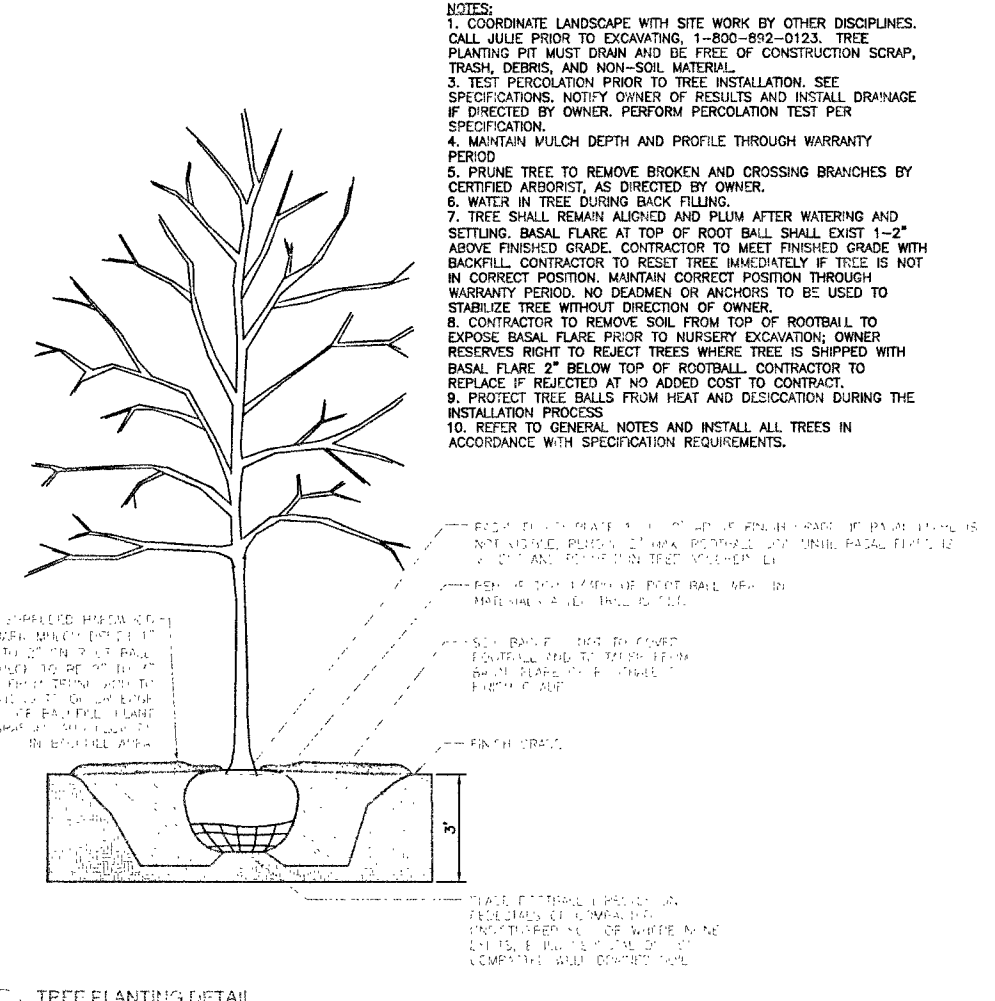
GENERAL LANDSCAPE SITEWORK NOTES:

1. INSTALLATION OF EXISTING SOIL SUBGRADES MUST BE TESTED FOR DRAINAGE AND DECOMPACTION IN AREAS OF HEAVY CONSTRUCTION STAGING PRIOR TO PLACEMENT OF IMPORTED PLANTING SOILS. TO ENSURE PLANTING AREA SOILS ARE NOT COMPACTED AND WELL DRAINAGE.
2. INCLUDE THE PERIOD OF SOIL AND LANDSCAPE INSTALLATION ON THE GENERAL CONSTRUCTION SCHEDULE. A LANDSCAPE SCHEDULE MUST SUBMITTED FOR LANDSCAPE ARCHITECT REVIEW FOR QUALITY ASSURANCE AS PART OF THIS WORK, AND COORDINATED WITH THE OVERALL GENERAL CONSTRUCTION SCHEDULE.
3. SCHEDULE PLANTS TO BE PROCURED, DUG AND INSTALLED WITHIN APPROPRIATE SEASONS PER SPECIFICATIONS. THE INITIAL SIX WEEKS OF ESTABLISHMENT PERIOD FOR CONTAINER AND BALLED PLANTS WILL INCLUDE 2-3 TIMES PER WEEK WATERING, WEEDING AND MONITORING, DEPENDENT ON REQUIREMENTS AND CONDITIONS.
4. A ONE YEAR WARRANTY INCLUDING REGULAR CONTRACT MAINTENANCE BEGINNING AT SUBSTANTIAL COMPLETION MUST BE INCLUDED WITH THIS WORK. THE YEAR LANDSCAPE WARRANTY MUST INCLUDE REGULAR MONITORING AND AS NEEDED MAINTENANCE OF PLANTED LANDSCAPE AREAS, BY A TRAINED CREW. THIS SHALL OCCUR TWICE A MONTH THROUGH THE FIRST GROWING SEASONS AND ONCE A MONTH THEREAFTER. THIS DOES NOT INCLUDE LANDSCAPE WATERING WHICH MUST BE SUPPLIED ON AN AS NEEDED BASIS.
5. NOTE THAT LANDSCAPE AREAS AND PATHS MAY DRAIN TOWARDS PLANTING AREAS WHICH INCLUDE LOW POINTS WITH LANDSCAPE DRAINS. THE CONTRACTOR MAY REQUIRE TEMPORARY PROVISION OF SOIL, PLANT, AND SEED EROSION PROTECTION UNTIL PLANTS ARE ROOTED AND ESTABLISHED, THROUGH THE WARRANTY PERIOD.

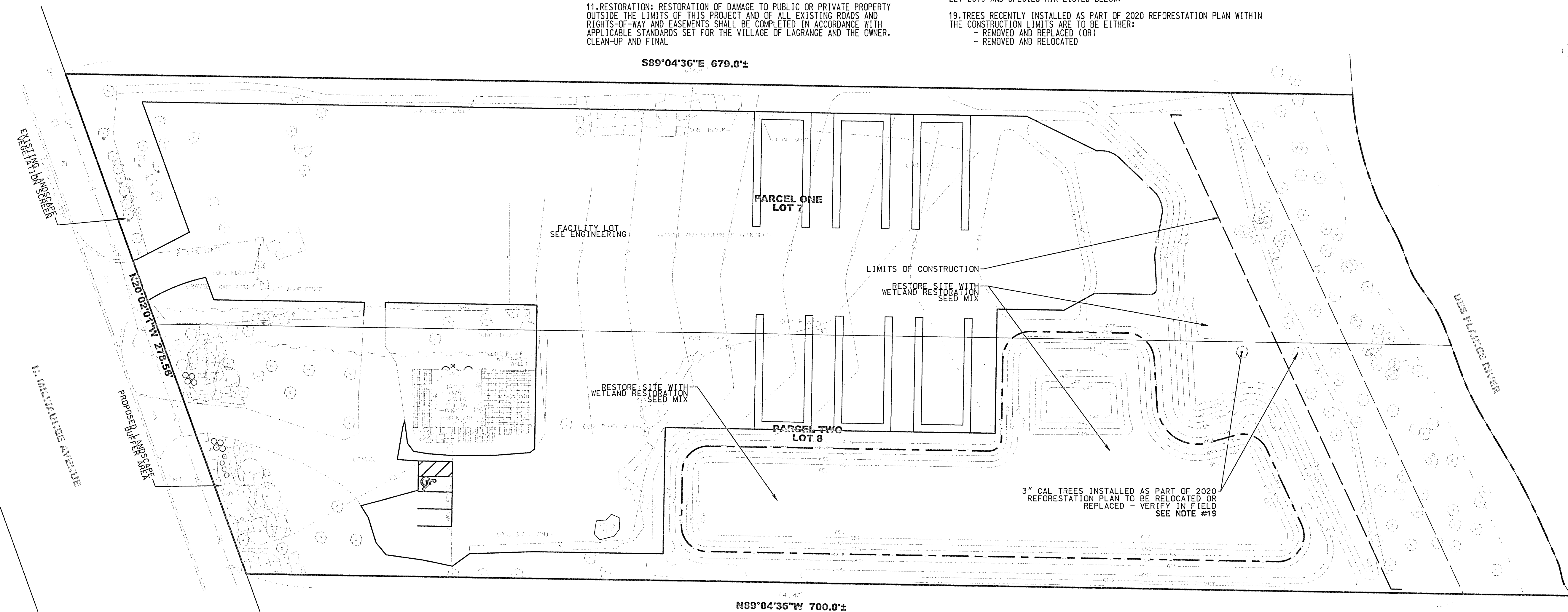
6. THE LANDSCAPE CONTRACTOR MUST SUBMIT LANDSCAPE SUBMITTALS FOR MATERIALS MEETING PROJECT SPECIFICATIONS, AS PART OF THIS WORK.
7. INFORMATION PERTAINING TO THE LOCATION OF EXISTING CONDITIONS IS APPROXIMATE AND IS INCLUDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE ARCHITECT AND THE OWNER ASSUME NO RESPONSIBILITY FOR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS.
8. THE CONTRACTOR IS TO RESOLVE CONFLICTS BETWEEN SITE LANDSCAPE AND UTILITIES. LANDSCAPE FINISHES PREVAIL OVER BELOW AND ABOVE GRADE PRIVATE SITE UTILITY LOCATIONS.
9. CLARIFICATION, DISCREPANCIES, AND CONFLICTS OF PLANS: ALL REQUESTS FOR CLARIFICATION OR ADDITIONAL INFORMATION RELATIVE TO CONSTRUCTION METHODS, ITEMS, OR EQUIPMENT PRIOR TO BIDDING SHALL BE DIRECTED TO THE ARCHITECTS WHO WILL FURNISH IN WRITING SUCH INFORMATION OR CLARIFICATION REQUIRED. ANY DISCREPANCIES OR CONFLICTS ON THE PLANS, QUANTITIES, OR SPECIFICATIONS, DISCOVERED BY THE CONTRACTOR, EITHER PRIOR TO, OR AFTER THE AWARD OF THE CONTRACT SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE WORK IS BEGUN SO THAT THE PROPER CORRECTIONS CAN BE MADE.
10. LOCATION OF UNDERGROUND FACILITIES: CONTRACTOR SHALL CONTACT JULIE 811 OR 800-892-0123 PRIOR TO BEGINNING WORK THE CONTRACTOR SHALL TAKE ALL NECESSARY SAFETY PRECAUTIONS TO PROTECT EXISTING STRUCTURES AND SITE LANDSCAPE TO REMAIN. ANY DAMAGE TO STRUCTURES OR EXISTING SITE CONDITIONS TO REMAIN ARE THE CONTRACTOR'S RESPONSIBILITY, AND MUST BE REPAIRED TO THEIR ORIGINAL CONDITIONS.
11. RESTORATION: RESTORATION OF DAMAGE TO PUBLIC OR PRIVATE PROPERTY OUTSIDE THE LIMITS OF THIS PROJECT AND OF ALL EXISTING ROADS AND RIGHTS-OF-WAY AND EASEMENTS SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE STANDARDS SET FOR THE VILLAGE OF LAGRANGE AND THE OWNER. CLEAN-UP AND FINAL

- RESTORATION MUST BE PERFORMED IMMEDIATELY UPON COMPLETION OF EACH PHASE OF THE WORK. RESTORE AREAS TO ORIGINAL CONDITION OR BETTER.
12. MAINTAIN ROADWAYS AND SIDEWALKS ADJOINING THE PROJECT SITE FREE FROM MUD AND DEBRIS AT ALL TIMES.
 13. THE CONTRACTOR SHALL REVIEW ALL AVAILABLE SOILS REPORTS.
 14. MATERIAL QUANTITIES INDICATED IN DOCUMENTS ARE APPROXIMATE. THE CONTRACTOR IS TO VERIFY QUANTITIES WITH BID. VALID BIDS MUST INCLUDE QUANTITIES, UNIT PRICING, WRITTEN UNDERSTANDING OF SCOPE WARRANTIES, WARRANTY PERIOD MAINTENANCE.
 15. PERMITS: IT IS THE CONTRACTOR'S RESPONSIBILITY PROCURE ALL PERMITS AND SCHEDULE INSPECTIONS REQUIRED AS PART OF THE WORK DESCRIBED HEREIN. IN A TIMELY MANNER WITHIN THE PROJECT SCHEDULE.
 16. INDEMNIFICATION: THE CONTRACTOR, BY AGREEING TO PERFORM THE WORK, AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER, ARCHITECT, THE CITY, AND ALL AGENTS AND ASSIGNS OF THOSE PARTIES, FROM ALL SUITS, CLAIMS, AND LEGAL FEES ARISING OUT OF THE DEFENSE OF SAID PARTIES.
 17. SEE CIVIL SHEETS FOR ALL TOPOGRAPHICAL, DRAINAGE, UTILITY INFORMATION, HARDSCAPE. SEE CIVIL SHEETS FOR DEMOLITION AND PROTECTION INFORMATION NOT PERTAINING TO LANDSCAPE WORK.
 18. RESTORE ALL OPEN SITE GRADING AREAS WITH "WETLAND RESTORATION SEED MIXTURE" PROPOSED IN DOC "WETLAND AND BUFFER RESTORATION PLAN" DATED MAY 22, 2019 AND SPECIES MIX LISTED BELOW.
 19. TREES RECENTLY INSTALLED AS PART OF 2020 REFORESTATION PLAN WITHIN THE CONSTRUCTION LIMITS ARE TO BE EITHER:
 - REMOVED AND REPLACED (OR)
 - REMOVED AND RELOCATED

- REMOVED AND REPLACED
REPLACEMENT TREES TO BE 3" CAL OF SAME SPECIES
REMOVED. INSTALLED PER SPECIFICATIONS AND DETAILS
- REMOVED AND RELOCATED
RELOCATED TREES TO BE DONE SO WITH THE ACTIONS PER STANDARD ILLINOIS LANDSCAPE CONTRACTORS ASSOCIATION (ILCA) METHODS UNDER THE SUPERVISION OF CERTIFIED ARBORIST.
RELOCATED TREES TO BE OFFERED A TWO YEAR WARRANTY ON HEALTH TO ASSURE PROPER CARE GIVEN DURING TRANSPLANT PROCESS.



- KEY:
- EXISTING DECIDUOUS CANOPY TREE
 - EXISTING EVERGREEN TREE
 - EXISTING SHRUB
 - LIMITS OF CONSTRUCTION
 - PROPOSED GRADING
 - PROPOSED ORNAMENTAL TREE
 - PROPOSED DECIDUOUS SHRUB
 - PROPOSED EVERGREEN SHRUB
 - PROPOSED PERENNIAL MIX 1 : 100% CLASS 4A LOW PROFILE NATIVE MIXTURE GRASS SEED



LANDSCAPE SCREEN REQUIREMENTS		
300 LINEAR FEET FRONTAGE		
REQUIRED : (3 PLANT UNITS)	PROVIDED	PROPOSED
(3) CANOPY TREES	(10)	(0) CANOPY TREES
(6) UNDERSTORY TREES	(0)	(6) UNDERSTORY TREES
(6) EVERGREEN TREES	(8)	(0) EVERGREEN TREES
(21) SHRUBS	(9)	(12) SHRUBS

LANDSCAPE SCHEDULE : 24803-24831 MILWAUKEE AVENUE; VERNON HILLS, ILLINOIS							
LABEL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE AT INSTALLATION	UNIT	NOTES	PLANT CODE
MILWAUKEE AVENUE FRONTAGE : 125 LINEAR FEET = 1.25 PLANT UNITS							
ORNAMENTAL TREE	Cercis canadensis	Redbud	4	2" CAL	B&B	CAC	
	Malus 'Red Jewel'	Red Jewel Crabapple	2	2" CAL	B&B	MRJ	
DECIDUOUS SHRUBS	Aronia melanocarpa 'Iroquois Beauty'	Black Chokeberry	8		#5 CONT	CONT	ARM
EVERGREEN SHRUBS	Taxus media 'Densiformis'	Dense Yew	3		#5 CONT	CONT	TXM
	Picea abies 'Nidiformis'	Bird's Nest Spruce	2		#5 CONT	CONT	PAN
PERENNIAL MIX 1	IDOT CLASS 4A LOW PROFILE NATIVE MIXTURE GRASS SEED					SEED	3,500 SF
PERENNIAL MIX 2	WETLAND RESTORATION SEED MIXTURE (SEE LIST)					SEED	45,000 SF

WETLAND RESTORATION SEED MIXTURE		
BOTANICAL NAME	COMMON NAME	lb/ac
Andropogon gerardii	Big Bluestem	2,000
Calamagrostis canadensis	Blue Joint Grass	0.031
Carex annectens xanthocarpa	Yellow Sedge	0.063
Carex bebbii	Bebb's Sedge	0.063
Carex bicknellii	Bicknell's Sedge	0.500
Carex normalis	Normal Sedge	0.063
Carex vulpinoidea	Fox Sedge	0.250
Elymus canadensis	Canadian Wild Rye	1,000
Elymus virginicus	Virginia Wild Rye	2,000
Juncus spp	Rush Species	0.031
Panicum virgatum	Switch Grass	0.250
Poa palustris	Marsh Blue Grass	1,000
Scirpus atrovirens	Dark Green Rush	0.500
Spartina pectinata	Cord Grass	0.250
Sporobolus heterolepis	Dropseed	0.250
TOTAL		9,500
COVER CROP		
Agrostis alba	Red Top Grass	1,500
Echinochloa crusgalli	Barnyard Grass	3,000

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			DESIGNED	JJA
			DRAWN	JJA
			APPROVED	SRK
09/12/23	REVISED PER LAKE COUNTY COMMENTS	MRM	DATE	06/18/21
09/09/21	REVISED PER LAKE COUNTY COMMENTS	MRM	SCALE	1" = 30'
DATE	DESCRIPTION OF REVISION	BY		

PROPOSED LANDSCAPE PLAN
24803 & 24831 N. MILWAUKEE AVENUE
VERNON HILLS, ILLINOIS

SHEET
L2 OF 2
PROJECT NUMBER: 3694
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